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**EGGLESTON & KRENZER ARCHITECTS, PC**  
The Trolley Bldg  
1391 East Genesee Street  
Skaneateles, New York 13152

January 27, 2023

Town of Skaneateles Planning Board  
24 Jordan Street  
Skaneateles, NY 13152

Re: William and Eliza Mulhern - Site Plan Review  
2726 West Lake Road -  
Tax Map # 053.-01-21.0

### **NARRATIVE**

The property at 2726 West Lake Road is 67,735 SF, has 326 ft of road frontage on West lake Road and 204.7 ft of road frontage on Wagon Wheel Drive, a private road, in the RF District and Skaneateles Lake watershed. The property has a four-bedroom single family dwelling, porches and a 1,677 SF barn on it. The house is 40.8 ft off west Lake Road where 27.1 ft is allowed. The ISC is 8.9% and TSC is 9.1%. The property has a 2011 septic system on it and a well.

This application is to construct a two-car garage with space above, a 12' x 16' screened porch, patio, walks and reduce the driveway. The detached garage will maintain the existing 40.8 ft front yard of the house. The ISC will be 10.00% and TSC will be XX%.

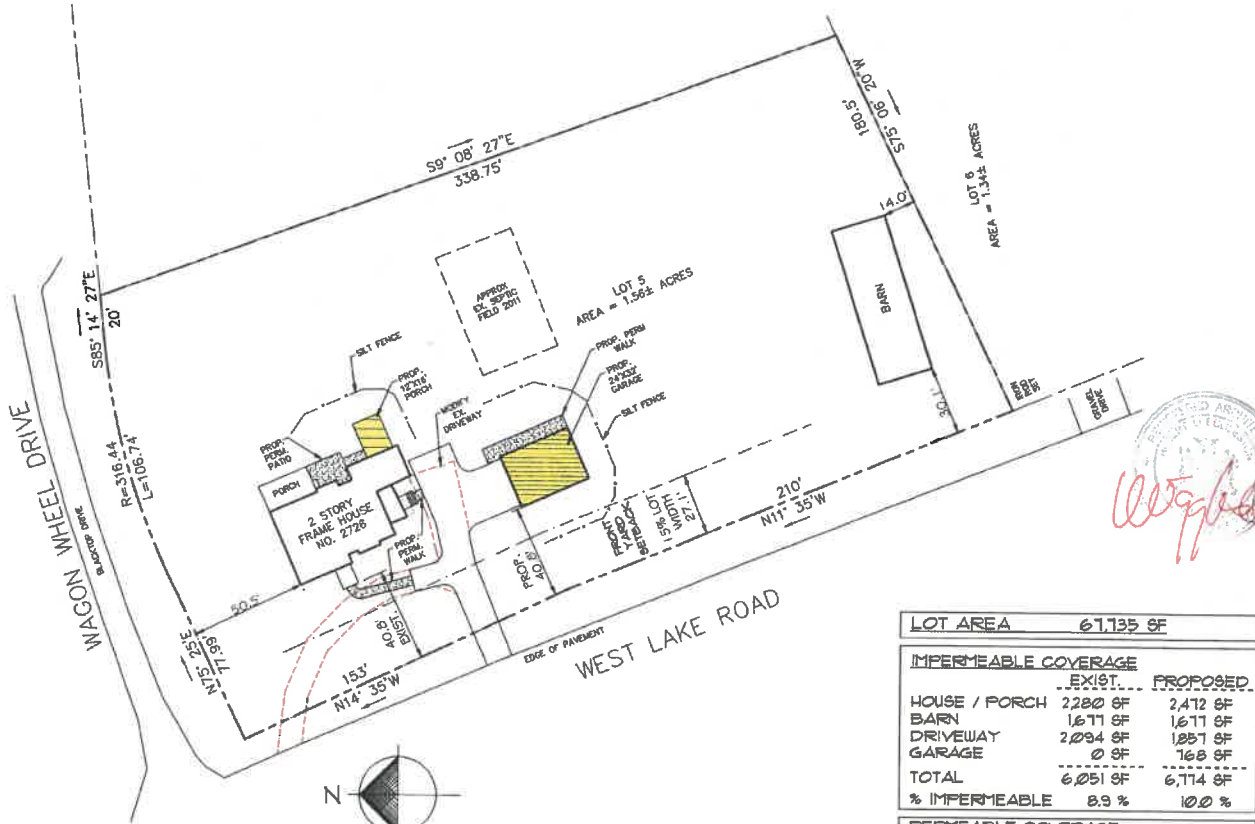
In that this is within 1,000 ft of the Lake, Site Plan Review is required. Silt curtains or sediment logs will be placed below the work areas to control any potential erosion.

### **CONSTRUCTION SEQUENCE**

- 1) Install silt fence, maintain during construction.
- 2) Mark the septic leach field area to prevent construction traffic and staging from passing over it.
- 3) Install the stone base for the expanded driveway and garage granular base.
- 4) Install posts for Garage and Screened Porch. (note that the two projects may be done at separate times.)
- 5) Construct the garage and screen porch structure.
- 6) After siding and roofing are complete, install roof gutters and direct downspouts away from disturbed areas.
- 7) Box out the final driveway and sidewalks and patio.
- 8) Finish grading, spread topsoil, seed, plant landscape and mulch. Water during dry periods.
- 9) After lawn is established, remove silt fence, patch disturbed areas.

(315) 685-8144

*Member of the American Institute of Architects*



**SITE PLAN**

1" = 40'-0"

SITE INFORMATION IS OBTAINED FROM SURVEY  
 DONE BY PAUL J. OLSZEWSKI, P.E., L.L.S. DATED 11/12/2019  
 ADDITIONAL INFORMATION BY ROBERT O. EGGLESTON

<b>LOT AREA</b>	<b>67,135 SF</b>	
<b>IMPERMEABLE COVERAGE</b>		
	<b>EXIST.</b>	<b>PROPOSED</b>
HOUSE / PORCH	2,280 SF	2,412 SF
BARN	1,611 SF	1,611 SF
DRIVEWAY	2,094 SF	1,887 SF
GARAGE	0 SF	768 SF
<b>TOTAL</b>	<b>6,085 SF</b>	<b>6,714 SF</b>
<b>% IMPERMEABLE</b>	<b>8.9 %</b>	<b>10.0 %</b>
<b>PERMEABLE COVERAGE</b>		
	<b>EXIST.</b>	<b>PROPOSED</b>
WALK	98 SF	404 SF
PATIO	0 SF	175 SF
<b>PERMEABLE</b>	<b>98 SF</b>	<b>579 SF</b>
<b>IMPERMEABLE</b>	<b>6,085 SF</b>	<b>6,714 SF</b>
<b>TOTAL</b>	<b>6,183 SF</b>	<b>7,353 SF</b>
<b>% TSC</b>	<b>9.1 %</b>	<b>10.9 %</b>

*Robert O. Eggleston*  
 ROBERT O. EGGLESTON  
 REGISTERED ARCHITECT  
 STATE OF NEW YORK

**SITE PLAN:**  
 BILL & EUZA MULHERN  
 2726 WEST LAKE ROAD  
 TN OF SKANEATELES, NEW YORK

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**architect**  
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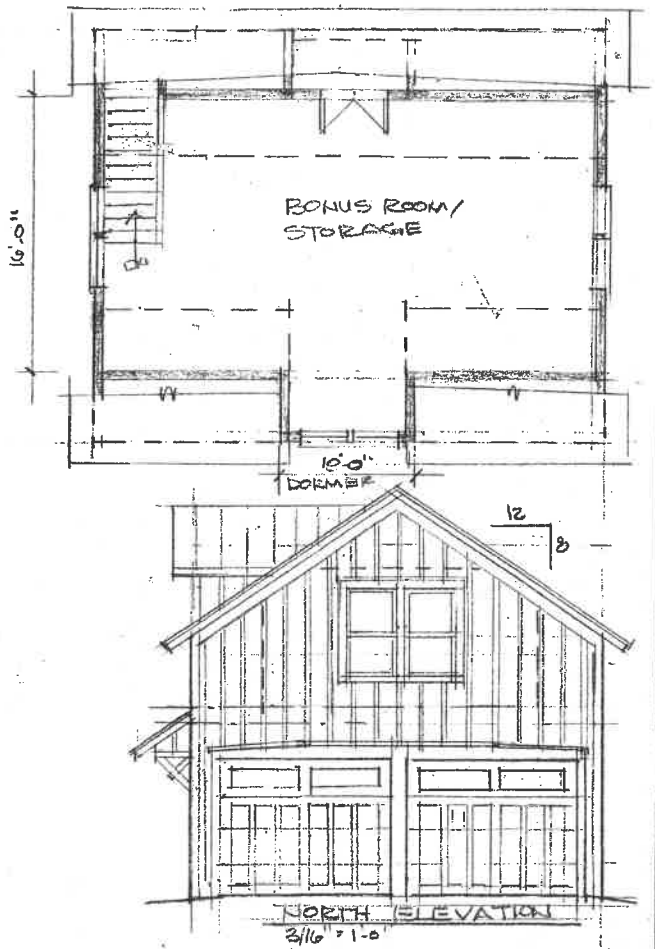
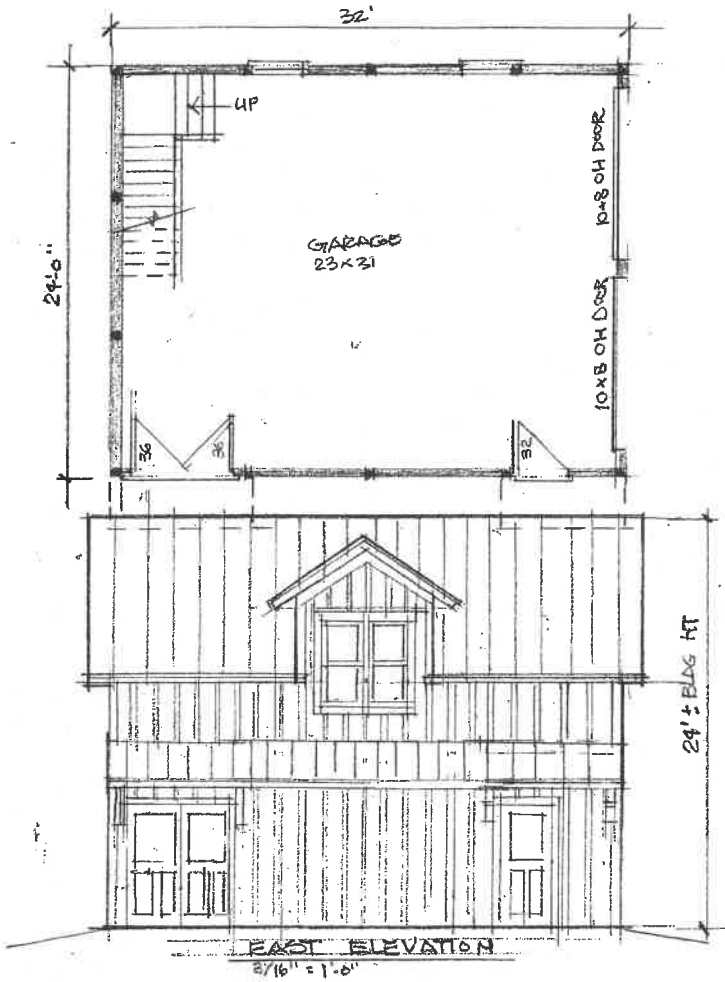
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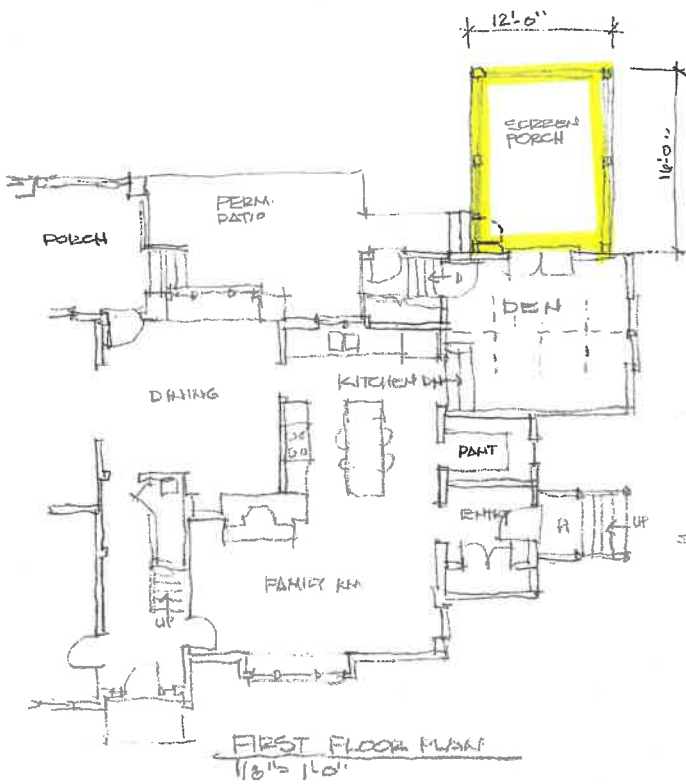
**NEW GARAGE:**  
 BILL & ELIZA MULHERN  
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**PORCH ADDITION:**

BILL & ELIZA MULHERN  
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