



# Project Narrative

Joseph C. Mollendorf

Project Location: 1801 Russell's Landing, Skaneateles, N.Y. 13152

Tax Map No.: 063.-03-10.0

Village Zoning District: RF/LOWD

SPACE Architectural Studio project #: 2022-10

Date: 4 May 2022

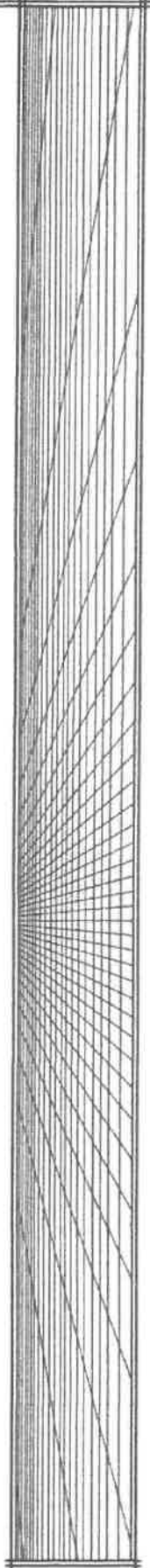
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Joseph Mollendorf purchased this property as a lakeside retreat for him and his family. He is looking to add more livable space to the home and update the dock and the access to it. The new proposal would demolish the existing dock and replace it with a smaller, newer one.

This project proposes to add a basement to the existing residence to allow for additional living space for the family. It adds an additional bedroom, bathroom and living area. In addition, the new proposal includes a new staircase to access all floors. On the second floor, there are minor changes to the layout to relocate the washer and dryer.

The other aspect of the proposal is a new staircase to access the lake front that is less treacherous. The existing site has a 27-foot height change from the residence to the shoreline and the existing spiral staircase leading down to the dock can be treacherous. The new proposed staircase would integrate into the existing stair, but provide a safer pathway down to the shoreline.

The addition of the proposed walkout basement would not change the existing footprint of the original house and would only be visible from the lakeside. The new dock would reduce the size of the existing dock. The additional staircase will serve to make the site conditions safer for the residents and visitors. Thank you for considering our proposal.



SHORELINE STRUCTURES	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING DECK AREA	≈ 270 SF
EXISTING BED	≈ 27 SF
EXISTING STRIP	≈ 15 SF
EXISTING BRIDGE	≈ 75 SF
TOTAL	≈ 397 SF

SHORELINE STRUCTURES	
PROPOSED	
ITEM	AREA
PROPOSED HOOD STRIP	≈ 54 SF
PROPOSED BED	≈ 24 SF
PROPOSED STRIP	≈ 33 SF
PROPOSED HOOD BRILL	≈ 27 SF
TOTAL	≈ 138 SF



LOT COVERAGE	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING HOUSE AREA	≈ 841 SF
EXISTING DRIVEWAY	≈ 1330 SF
EXISTING BRIDGE AREA	≈ 21 SF
EXISTING BED AREA	≈ 27 SF
EXISTING DECK AREA	≈ 270 SF
EXISTING STRIP AREA	≈ 20 SF
EXISTING BRIDGE AREA	≈ 75 SF
EXISTING SIDE WALK	≈ 42 SF
EXISTING STRIP	≈ 15 SF
EXISTING BRILL	≈ 534 SF
EXISTING BY LOT AREA	≈ 23,159 SF
TOTAL	≈ 5,326 SF

IMPERMEABLE SURFACE COVERAGE	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING HOUSE AREA	≈ 841 SF
EXISTING DRIVEWAY	≈ 1330 SF
EXISTING BRIDGE AREA	≈ 21 SF
EXISTING BED AREA	≈ 27 SF
EXISTING DECK AREA	≈ 270 SF
EXISTING STRIP AREA	≈ 20 SF
EXISTING BRIDGE AREA	≈ 75 SF
EXISTING SIDE WALK	≈ 42 SF
EXISTING STRIP	≈ 15 SF
EXISTING BRILL	≈ 534 SF
EXISTING BY LOT AREA	≈ 23,159 SF
IMPERMEABLE SURFACE COVERAGE	≈ 4,376 SF

LOT COVERAGE	
PROPOSED	
ITEM	AREA
EXISTING HOUSE AREA	≈ 841 SF
EXISTING DRIVEWAY	≈ 1330 SF
EXISTING BRIDGE AREA	≈ 21 SF
EXISTING BED AREA	≈ 24 SF
EXISTING DECK AREA	≈ 270 SF
EXISTING STRIP AREA	≈ 20 SF
EXISTING BRIDGE AREA	≈ 75 SF
EXISTING SIDE WALK	≈ 42 SF
EXISTING STRIP	≈ 15 SF
EXISTING BRILL	≈ 27 SF
EXISTING BY LOT AREA	≈ 23,159 SF
TOTAL	≈ 4,406 SF
LOT COVERAGE	≈ 10,426 SF

IMPERMEABLE SURFACE COVERAGE	
PROPOSED	
ITEM	AREA
EXISTING HOUSE AREA	≈ 841 SF
EXISTING DRIVEWAY	≈ 1330 SF
EXISTING BRIDGE AREA	≈ 21 SF
EXISTING BED AREA	≈ 24 SF
EXISTING DECK AREA	≈ 270 SF
EXISTING STRIP AREA	≈ 20 SF
EXISTING BRIDGE AREA	≈ 75 SF
EXISTING SIDE WALK	≈ 42 SF
EXISTING STRIP	≈ 15 SF
EXISTING BRILL	≈ 27 SF
EXISTING BY LOT AREA	≈ 23,159 SF
IMPERMEABLE SURFACE COVERAGE	≈ 4,376 SF

DENSITY CONTROL SCHEDULE						
TOWN OF SKANEATELES / RF - RURAL AND FARMING / LAKE WATERSHED OVERLAY DISTRICT						
	REGD./ALLOWED	EXISTING	PROPOSED	DIFFERENCE	REGD. VARIANCE	CODE REFERENCE
MINIMUM LOT AREA	50,000 SF	≈ 25,59 SF	≈ 25,59 SF	NO CHANGE	-	PR § 140-4-4(1)(3)
MINIMUM LOT WIDTH	50 FT.	≈ 76.0 FT.	≈ 76.0 FT.	NO CHANGE	-	PR § 140-4-4(1)(3)
MINIMUM LOT FRONTAGE	75 FT.	≈ 85.1 FT.	≈ 85.1 FT.	NO CHANGE	-	PR § 140-4-4(1)(3)
MINIMUM LOT FRONTAGE	100 FT.	≈ 76.0 FT.	≈ 76.0 FT.	NO CHANGE	≈ 24.0 FT. (P.24)	PR § 140-4-4(1)(3)
MINIMUM LOT COVERAGE	20%	≈ 9.39%	≈ 12.2%	≈ 2.8%	-	PR § 140-4-4(1)(3)
MINIMUM IMPERMEABLE SURFACE COVERAGE	5.0%	≈ 4.3%	≈ 4.3%	≈ 0.0%	-	PR § 140-4-4(1)(3)
MINIMUM REAR YARD SETBACK (FEET)	25 FT.	≈ 161.1 FT.	≈ 161.1 FT.	NO CHANGE	-	PR § 140-4-4(1)(3)
MINIMUM SIDE YARD SETBACK (NORTH)	5 FT. (7.5 FT. + 20)	≈ 15.9 FT.	≈ 15.9 FT.	NO CHANGE	-	PR § 140-4-4(1)(3)
MINIMUM SIDE YARD SETBACK (SOUTH)	5 FT. (7.5 FT. + 20)	≈ 16.0 FT.	≈ 16.0 FT.	NO CHANGE	-	PR § 140-4-4(1)(3)
MINIMUM FRONT YARD SETBACK (MIN)	50 FT.	≈ 87.4 FT.	≈ 87.4 FT.	NO CHANGE	-	PR § 140-4-4(1)(7)
MINIMUM BUILDING HEIGHT	55 FT.	≈ 22.4 FT.	≈ 22.4 FT.	NO CHANGE	-	PR § 140-4-4(1)(3)

Site Plan  
SCALE 1/8" = 1'-0"

**SPACE Architectural Studio, P.C.**  
3 Pennell Street, Suite #2 Skaneateles, N.Y. 13152  
Phone: (815) 685-0350 Email: SPAC@architecturalstudio.com

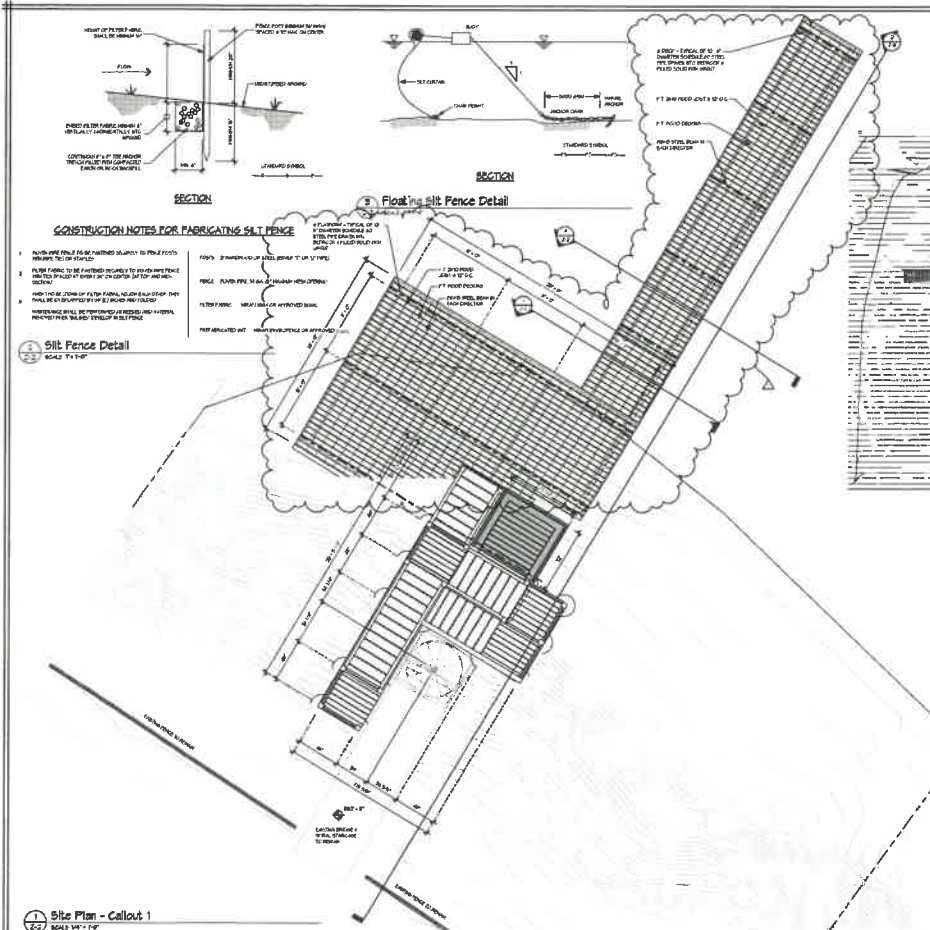
**PROPERTY RENOVATION**  
for  
**Joseph Mollendorf**  
1801 RUSSELLS LANE  
SKANEATELES, NY 13152

NO.	DATE	DESCRIPTION
1	05-04-2022	REVISIONS

Zoning Submittal: 05.04.2022

<p>1.0 D.L.C. - PRO-STATE NON-GOVERNOR</p> <p>ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. DATE OF DECLASSIFICATION IS INDEFINITE.</p> <p>THIS DOCUMENT IS THE PROPERTY OF THE NATIONAL ARCHIVE AND RECORDS ADMINISTRATION. IT IS LOANED TO YOUR AGENCY AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION FROM THE NATIONAL ARCHIVE AND RECORDS ADMINISTRATION.</p>	<p>Project Name: 2022 10</p> <p>Date: 01/21/22</p> <p>Scale: A6 1/8"=1'-0"</p>	<p>Sheet No: 1/14</p> <p>Checked: [Signature]</p>	<p><b>ZONING</b></p> <p><b>Z-1</b></p>
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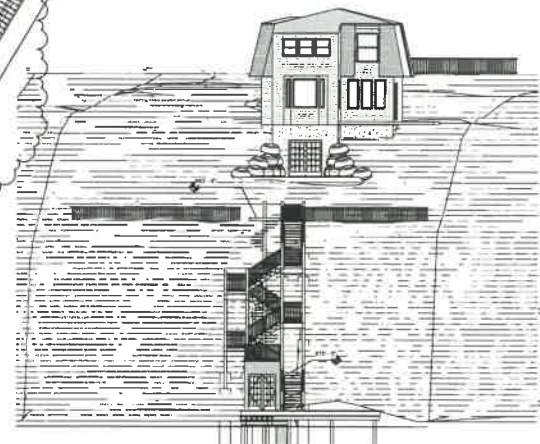
**CONSTRUCTION NOTES FOR FABRICATING SALT FENCE**

1. ALL FENCE SHALL BE FABRICATED ACCORDING TO PERMITS AND LOCAL REGULATIONS.
2. FENCE SHALL BE INSTALLED TO PREVENT UNDESIRABLE MATERIALS FROM ENTERING THE SITE.
3. FENCE SHALL BE MAINTAINED AND REPAIRED AS NEEDED.
4. FENCE SHALL BE REMOVED AT THE END OF THE PROJECT.

1 Salt Fence Detail  
SCALE: 1/4" = 1'-0"

2 Floating Salt Fence Detail  
SCALE: 1/4" = 1'-0"

3 Site Plan - Callout 1  
SCALE: 1/4" = 1'-0"



4 SITE SECTION  
SCALE: 1/4" = 1'-0"



5 BROSEY VIEW  
SCALE: 1/4" = 1'-0"

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**PROPERTY RENOVATION**  
for  
**Joseph Mollendorf**  
1801 RUSSELLS LINDS  
SKANEATELES, NY 13152

Revisions

NO.	DATE	DESCRIPTION
1	02/18/22	ISSUED FOR PERMITS

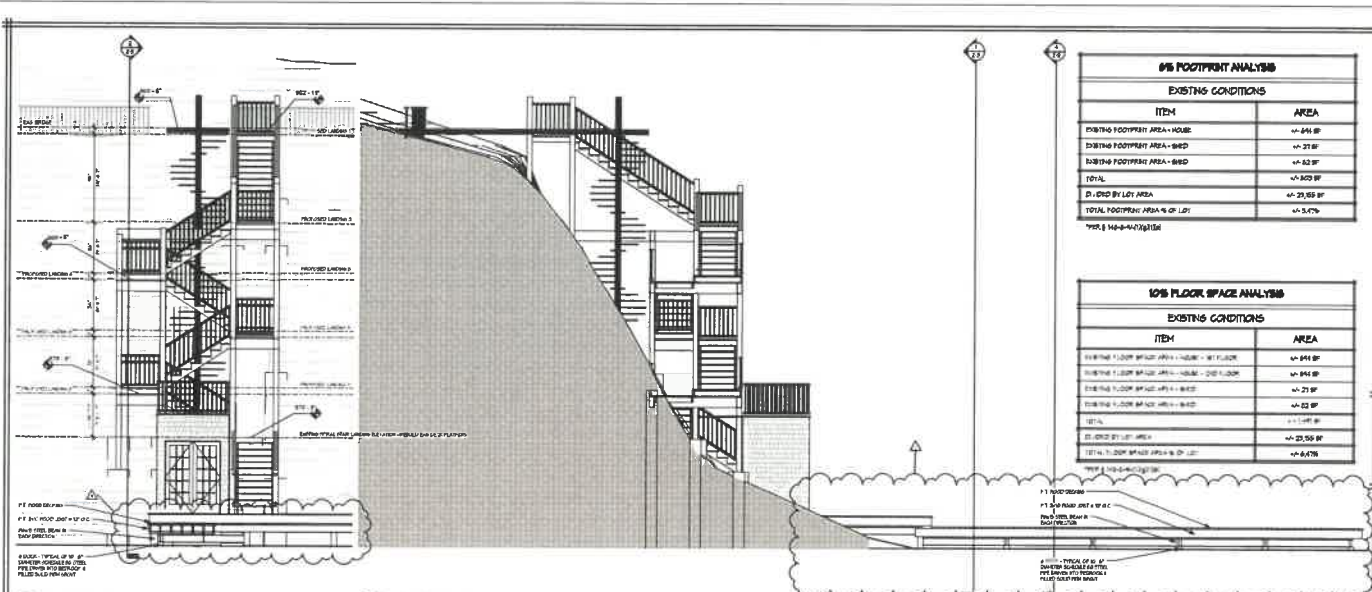
Zoning Submittal: 05.04.2022

Project No.	2022-10	Date	PLM
Date	02/18/22	Checked	Checker
Scale	As Indicated		

ZONING

Z-2





1 STAR SECTION A  
SCALE 1/8" = 1'-0"

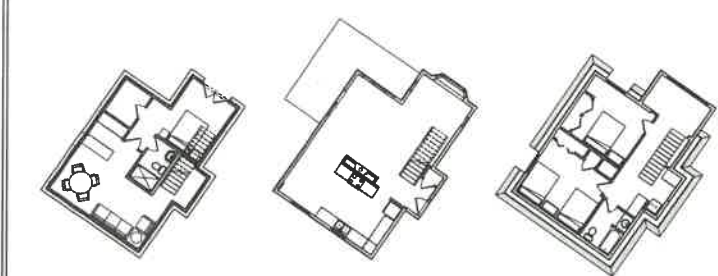
2 STAR SECTION B  
SCALE 1/8" = 1'-0"

85% FOOTPRINT ANALYSIS	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING FOOTPRINT AREA - HOUSE	≈ 846 SF
EXISTING FOOTPRINT AREA - B2B	≈ 21 SF
EXISTING FOOTPRINT AREA - B2D	≈ 62 SF
TOTAL	≈ 929 SF
DIVIDED BY LOT AREA	≈ 23.95 SF
TOTAL FOOTPRINT AREA % OF LOT	≈ 5.47%

YPR | 140-0-4032(B)

10% FLOOR SPACE ANALYSIS	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING FLOOR SPACE AREA - HOUSE - 1ST FLOOR	≈ 846 SF
EXISTING FLOOR SPACE AREA - HOUSE - 2ND FLOOR	≈ 846 SF
EXISTING FLOOR SPACE AREA - B2B	≈ 21 SF
EXISTING FLOOR SPACE AREA - B2D	≈ 62 SF
TOTAL	≈ 1,775 SF
DIVIDED BY LOT AREA	≈ 23.95 SF
TOTAL FLOOR SPACE AREA % OF LOT	≈ 6.47%

YPR | 140-0-4032(B)



3 PROPOSED BASEMENT FLOOR PLAN  
SCALE 1/8" = 1'-0"

4 PROPOSED FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"

5 PROPOSED SECOND FLOOR PLAN  
SCALE 1/8" = 1'-0"

85% FOOTPRINT ANALYSIS	
PROPOSED	
ITEM	AREA
EXISTING FOOTPRINT AREA - HOUSE	≈ 846 SF
PROPOSED FOOTPRINT AREA - B2B	≈ 34 SF
EXISTING FOOTPRINT AREA - B2D	≈ 62 SF
TOTAL	≈ 942 SF
DIVIDED BY LOT AREA	≈ 23.95 SF
TOTAL FOOTPRINT AREA % OF LOT	≈ 5.52%

YPR | 140-0-4032(B)

10% FLOOR SPACE ANALYSIS	
PROPOSED	
ITEM	AREA
EXISTING FLOOR SPACE AREA - HOUSE - 1ST FLOOR	≈ 846 SF
EXISTING FLOOR SPACE AREA - HOUSE - 2ND FLOOR	≈ 846 SF
PROPOSED FLOOR SPACE AREA - HOUSE - BASEMENT	≈ 84 SF
EXISTING FLOOR SPACE AREA - B2B	≈ 21 SF
EXISTING FLOOR SPACE AREA - B2D	≈ 62 SF
TOTAL	≈ 2,601 SF
DIVIDED BY LOT AREA	≈ 23.95 SF
TOTAL FLOOR SPACE AREA % OF LOT	≈ 10.8%

YPR | 140-0-4032(B)

**SPACE Architectural Studio, P.C.**  
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**PROPERTY RENOVATION**  
for  
**Joseph Mollendorf**  
1001 RUSSELLS L'NDG  
SCARSDALE, NY 13152

**Revisions**  
1. 05/04/2022  
2. 05/04/2022  
3. 05/04/2022  
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Zoning Submittal, 05.04.2022

Project Name: ZONING	Drawn by: PLM	Scale: 1/8" = 1'-0"	Sheet: Z-3
Date: 05/11/22	Checked by: Checker	Author: AS MSK/AG	

