



# Project Narrative

Joseph C. Mollendorf

Project Location: 1801 Russell's Landing, Skaneateles, N.Y. 13152

Tax Map No.: 063.-03-10.0

Village Zoning District: RF/LOWD

SPACE Architectural Studio project #: 2022-10

Date: 4 May 2022

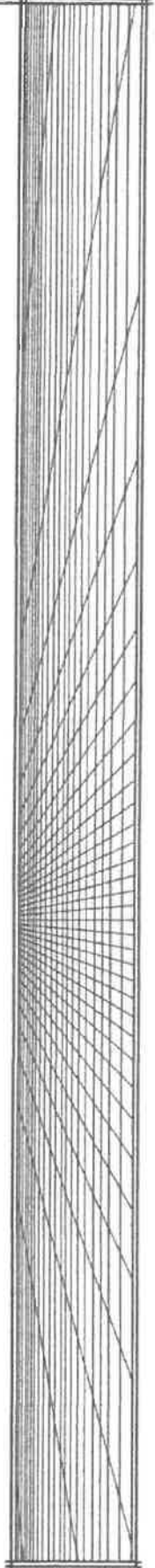
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Joseph Mollendorf purchased this property as a lakeside retreat for him and his family. He is looking to add more livable space to the home and update the dock and the access to it. The new proposal would demolish the existing dock and replace it with a smaller, newer one.

This project proposes to add a basement to the existing residence to allow for additional living space for the family. It adds an additional bedroom, bathroom and living area. In addition, the new proposal includes a new staircase to access all floors. On the second floor, there are minor changes to the layout to relocate the washer and dryer.

The other aspect of the proposal is a new staircase to access the lake front that is less treacherous. The existing site has a 27-foot height change from the residence to the shoreline and the existing spiral staircase leading down to the dock can be treacherous. The new proposed staircase would integrate into the existing stair, but provide a safer pathway down to the shoreline.

The addition of the proposed walkout basement would not change the existing footprint of the original house and would only be visible from the lakeside. The new dock would reduce the size of the existing dock. The additional staircase will serve to make the site conditions safer for the residents and visitors. Thank you for considering our proposal.



# Project for Joseph Mollendorf 1801 Russels Landing Skaneateles, NY 13152

DRAWING LIST			
Sheet Number	Sheet Name	Sheet Date	Issued For
01	TITLE SHEET	05/05/22	
02	GENERAL NOTES	05/05/22	
03	FOUNDATION	05/18/22	
04	FLOOR PLAN	05/18/22	
05	SECTION	05/18/22	

### CLIMATE 4 GEORGAPHC DESIGN CRITERIA

Climate Zone	Frost Depth	Heating Degree Days	Design Temperature	Wind Speed	Ice Load	Snow Load	Wind-Borne Debris Risk
4	48"	5000	0°F	115 mph	0.50 psf	20 psf	Category 2

### TYPICAL SYMBOLS

<p><b>GENERAL NOTES</b></p> <p>1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).</p> <p>2. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER.</p> <p>3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.</p>	<p><b>FOUNDATION SYMBOLS</b></p> <p>1. FOUNDATION WALLS SHALL BE CONCRETE ON A GRAVEL PAD.</p> <p>2. FOUNDATION SLABS SHALL BE CONCRETE ON GRAVEL.</p>	<p><b>WIND-BORNE DEBRIS SYMBOLS</b></p>
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### COMMON ABBREVIATIONS

<p>AC - AIR CONDITIONING</p> <p>AD - APPROVED</p> <p>AS - AS SHOWN</p> <p>AW - ABOVE WINDOW</p> <p>BC - BELOW CURB</p> <p>BR - BRICK</p> <p>BT - BELOW TOP</p> <p>CC - CONCRETE</p> <p>CD - CENTERLINE</p> <p>CF - CONCRETE FINISH</p> <p>CG - CONCRETE GRADE</p> <p>CH - CHIMNEY</p> <p>CI - CONCRETE IN PLACE</p> <p>CMU - CONCRETE MASONRY UNIT</p> <p>CP - CONCRETE PAVING</p> <p>CS - CONCRETE SURFACE</p> <p>CSF - CONCRETE SURFACE FINISH</p> <p>CT - CONCRETE TOP</p> <p>CTF - CONCRETE TOP FINISH</p> <p>CU - CUP</p> <p>CV - CONCRETE VENEER</p> <p>DA - DAY AFTER</p> <p>DB - DAY BEFORE</p> <p>DC - DAY AFTER</p> <p>DD - DAY AFTER</p> <p>DE - DAY AFTER</p> <p>DF - DAY AFTER</p> <p>DG - DAY AFTER</p> <p>DH - DAY AFTER</p> <p>DI - DAY AFTER</p> <p>DJ - DAY AFTER</p> <p>DK - DAY AFTER</p> <p>DL - DAY AFTER</p> <p>DM - DAY AFTER</p> <p>DN - DAY AFTER</p> <p>DO - DAY AFTER</p> <p>DP - DAY AFTER</p> <p>DQ - DAY AFTER</p> <p>DR - DAY AFTER</p> <p>DS - DAY AFTER</p> <p>DT - DAY AFTER</p> <p>DU - DAY AFTER</p> <p>DV - DAY AFTER</p> <p>DW - DAY AFTER</p> <p>DX - DAY AFTER</p> <p>DY - DAY AFTER</p> <p>DZ - DAY AFTER</p>	<p>EA - EAST END</p> <p>EB - EAST END</p> <p>EC - EAST END</p> <p>ED - EAST END</p> <p>EE - EAST END</p> <p>EF - EAST END</p> <p>EG - EAST END</p> <p>EH - EAST END</p> <p>EI - EAST END</p> <p>EJ - EAST END</p> <p>EK - EAST END</p> <p>EL - EAST END</p> <p>EM - EAST END</p> <p>EN - EAST END</p> <p>EO - EAST END</p> <p>EP - EAST END</p> <p>EQ - EAST END</p> <p>ER - EAST END</p> <p>ES - EAST END</p> <p>ET - EAST END</p> <p>EU - EAST END</p> <p>EV - EAST END</p> <p>EW - EAST END</p> <p>EX - EAST END</p> <p>EY - EAST END</p> <p>EZ - EAST END</p>	<p>FA - FINISH ABOVE</p> <p>FB - FINISH ABOVE</p> <p>FC - FINISH ABOVE</p> <p>FD - FINISH ABOVE</p> <p>FE - FINISH ABOVE</p> <p>FF - FINISH ABOVE</p> <p>FG - FINISH ABOVE</p> <p>FH - FINISH ABOVE</p> <p>FI - FINISH ABOVE</p> <p>FJ - FINISH ABOVE</p> <p>FK - FINISH ABOVE</p> <p>FL - FINISH ABOVE</p> <p>FM - FINISH ABOVE</p> <p>FN - FINISH ABOVE</p> <p>FO - FINISH ABOVE</p> <p>FP - FINISH ABOVE</p> <p>FQ - FINISH ABOVE</p> <p>FR - FINISH ABOVE</p> <p>FS - FINISH ABOVE</p> <p>FT - FINISH ABOVE</p> <p>FU - FINISH ABOVE</p> <p>FV - FINISH ABOVE</p> <p>FW - FINISH ABOVE</p> <p>FX - FINISH ABOVE</p> <p>FY - FINISH ABOVE</p> <p>FZ - FINISH ABOVE</p>
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### NOTICE OF UTILIZATION OF TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TRUSS CONSTRUCTION

**DATE:** 05/05/22

**PROJECT:** 1801 RUSSELLS LANDING

**OWNER:** JOSEPH MOLLENDORF

**ENGINEER:** SPACE ARCHITECTURAL STUDIO, P.C.

**TRUSS IDENTIFICATION:** VFR

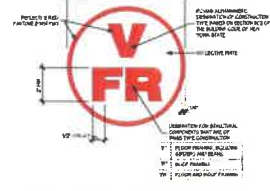
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**TRUSS IDENTIFICATION:** [ ] VFR TRUSS

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**TRUSS IDENTIFICATION:** [ ] VFR TRUSS



### TRUSS IDENTIFICATION SIGN DETAIL

**NOTES:**

1. THE TRUSS IDENTIFICATION SIGN SHALL BE A PERMANENT SIGN LOCATED ON THE EXTERIOR OF THE STRUCTURE AT THE TRUSS IDENTIFICATION POINT.

2. THE TRUSS IDENTIFICATION SIGN SHALL BE A PERMANENT SIGN LOCATED ON THE EXTERIOR OF THE STRUCTURE AT THE TRUSS IDENTIFICATION POINT.

3. THE TRUSS IDENTIFICATION SIGN SHALL BE A PERMANENT SIGN LOCATED ON THE EXTERIOR OF THE STRUCTURE AT THE TRUSS IDENTIFICATION POINT.

4. THE TRUSS IDENTIFICATION SIGN SHALL BE A PERMANENT SIGN LOCATED ON THE EXTERIOR OF THE STRUCTURE AT THE TRUSS IDENTIFICATION POINT.

5. THE TRUSS IDENTIFICATION SIGN SHALL BE A PERMANENT SIGN LOCATED ON THE EXTERIOR OF THE STRUCTURE AT THE TRUSS IDENTIFICATION POINT.

**SPACE Architectural Studio, P.C.**  
 3 Fennell Street, Suite #2 Skaneateles, N.Y. 13152  
 Phone: (815) 655-6266 Email: SPACEarchitecturalstudio@space.com

**PROPERTY RENOVATION**  
 for  
**Joseph Mollendorf**  
 1801 RUSSELLS LANDING  
 SKANEATELES, NY 13152

Scale: 1/4" = 1'-0"  
 Title: T-1  
 Date: 05/05/22  
 Project: 1801 RUSSELLS LANDING

Zoning Submittal: 05.04.2022

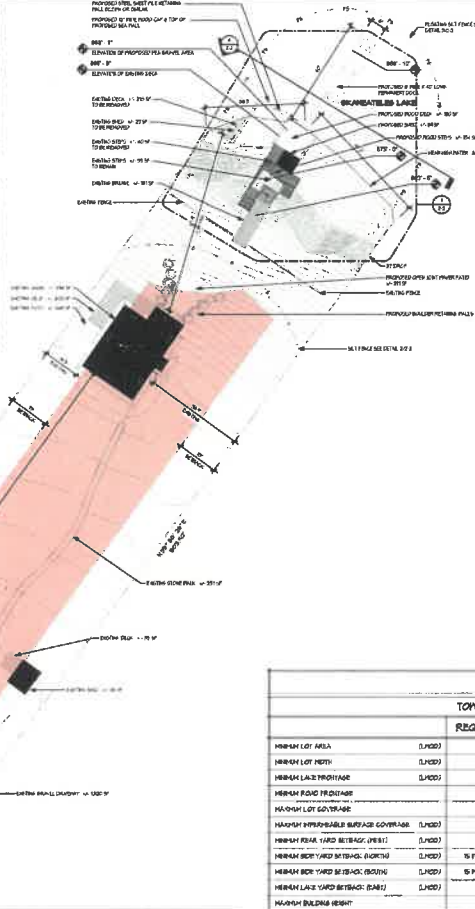
**Titlesheet**

**T-1**



SHORELINE STRUCTURES	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING DECK AREA	± 273 SF
EXISTING BIPOD	± 27 SF
EXISTING STOPS	± 45 SF
EXISTING BRIDGE	± 51 SF
TOTAL	± 596 SF

SHORELINE STRUCTURES	
PROPOSED	
ITEM	AREA
PROPOSED FOOD STOPS	± 84 SF
PROPOSED BIPOD	± 24 SF
EXISTING STOPS	± 45 SF
EXISTING BRIDGE	± 51 SF
PROPOSED FOOD DECK	± 500 SF
TOTAL	± 604 SF



LOT COVERAGE	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING HOUSE AREA	± 443 SF
EXISTING GRAVEL DRIVEWAY	± 1320 SF
EXISTING BRIDGE AREA	± 51 SF
EXISTING BIPOD AREA	± 27 SF
EXISTING DECK AREA	± 273 SF
EXISTING DRIVEWAY AREA	± 58 SF
EXISTING DRIVEWAY AREA	± 282 SF
EXISTING DRIVEWAY AREA	± 142 SF
EXISTING DRIVEWAY AREA	± 221 SF
EXISTING STOPS	± 45 SF
TOTAL	± 2344 SF
DIVIDED BY LOT AREA	± 23.55 SF
LOT COV. BRIDGE	± 0.22%

IMPERMEABLE SURFACE COVERAGE	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING HOUSE AREA	± 443 SF
EXISTING GRAVEL DRIVEWAY	± 1320 SF
EXISTING BRIDGE AREA	± 51 SF
EXISTING BIPOD AREA	± 27 SF
EXISTING DECK AREA	± 273 SF
TOTAL	± 2394 SF
DIVIDED BY LOT AREA	± 23.96 SF
IMPERMEABLE SURFACE COVERAGE	± 1.2%

LOT COVERAGE	
PROPOSED	
ITEM	AREA
EXISTING HOUSE AREA	± 443 SF
EXISTING GRAVEL DRIVEWAY	± 1320 SF
EXISTING BRIDGE AREA	± 51 SF
PROPOSED BIPOD AREA	± 24 SF
EXISTING BIPOD AREA	± 27 SF
EXISTING DECK AREA	± 273 SF
EXISTING DRIVEWAY AREA	± 58 SF
EXISTING DRIVEWAY AREA	± 282 SF
EXISTING DRIVEWAY AREA	± 442 SF
EXISTING DRIVEWAY AREA	± 221 SF
EXISTING STOPS TO REMOVE	± 45 SF
PROPOSED FOOD STOPS	± 84 SF
PROPOSED FOOD BIPOD	± 24 SF
PROPOSED OPEN JOINT PAVEMENT	± 371 SF
TOTAL	± 4211 SF
DIVIDED BY LOT AREA	± 22.55 SF
LOT COVERAGE	± 17.22%

IMPERMEABLE SURFACE COVERAGE	
PROPOSED	
ITEM	AREA
EXISTING HOUSE AREA	± 443 SF
EXISTING GRAVEL DRIVEWAY	± 1320 SF
EXISTING BRIDGE AREA	± 51 SF
PROPOSED BIPOD AREA	± 24 SF
EXISTING BIPOD AREA	± 27 SF
TOTAL	± 2394 SF
DIVIDED BY LOT AREA	± 23.55 SF
IMPERMEABLE SURFACE COVERAGE	± 1.2%

DENSITY CONTROL SCHEDULE						
TOWN OF SKANATELES / RT - RURAL AND FARMING / LAKE WATERSHED OVERLAY DISTRICT						
	REQD./ALLOWED	EXISTING	PROPOSED	DIFFERENCE	REQD. VARIANCE	CODE REFERENCE
MINIMUM LOT AREA (L/ACD)	30,000 SF	± 23,555 SF	± 23,555 SF	NO CHANGE	-	PER § 160-2-A(1)(2)
MINIMUM LOT WIDTH (L/ACD)	50 FT	± 75.0 FT	± 75.0 FT	NO CHANGE	-	PER § 160-2-A(1)(3)
MINIMUM LAKE FRONTAGE (L/ACD)	75 FT	± 533 FT	± 533 FT	NO CHANGE	-	PER § 160-2-A(1)(4)
MINIMUM ROAD FRONTAGE (L/ACD)	100 FT	± 75.0 FT	± 75.0 FT	NO CHANGE	± 25.00 FT. (P.2)(1.2)	PER § 160-2-A(1)(5)
MINIMUM LOT COVERAGE (L/ACD)	20%	± 9.28%	± 17.22%	± 7.94%	-	PER § 160-2-A(1)(6)
MINIMUM IMPERMEABLE SURFACE COVERAGE (L/ACD)	10%	± 1.2%	± 1.2%	± 0.0%	-	PER § 160-2-A(1)(7)
MINIMUM REAR YARD SETBACK (FEET) (L/ACD)	25 FT	± 75.1 FT	± 75.1 FT	NO CHANGE	-	PER § 160-2-A(1)(8)
MINIMUM SIDE YARD SETBACK (FEET) (L/ACD)	15 FT (75.0 FT x .20)	± 13.5 FT	± 13.5 FT	NO CHANGE	± 15 FT. (P.2)(1.2)	PER § 160-2-A(1)(9)
MINIMUM REAR YARD SETBACK (FEET) (L/ACD)	15 FT (75.0 FT x .20)	± 38.4 FT	± 38.4 FT	NO CHANGE	-	PER § 160-2-A(1)(10)
MINIMUM LAKE YARD SETBACK (FEET) (L/ACD)	50 FT	± 474 FT	± 474 FT	NO CHANGE	-	PER § 160-2-A(1)(11)
MINIMUM BUILDING HEIGHT (L/ACD)	20 FT	± 22.0 FT	± 22.0 FT	NO CHANGE	-	PER § 160-2-A(1)(12)

Site Plan  
SCALE 1/4" = 1'-0"

Zoning Submit: 05.04.2022

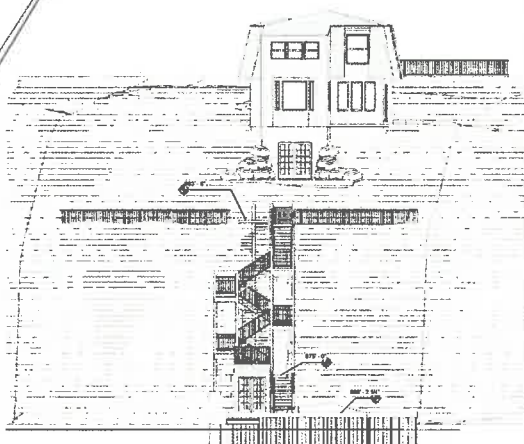
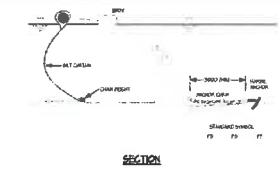
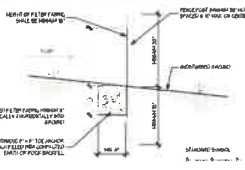
Project No.	2022-10	Priority	1/1/24
Date	07/19/22	Drawn By	CHK/ST
Scale	As Indicated	Checked By	

**ZONING** **Z-1**

**SPACE Architectural Studio, P.C.**  
3 Farnell Street, Suite #2 Skanateles, N.Y. 13152  
Phone: (315) 665-6040 Email: SP@spacearchitecturalstudio.com

**PROPERTY RENOVATION**  
for  
**Joseph Mollendorf**  
1501 RUSSELLS LANE  
SKANATELES, NY 13152





**CONSTRUCTION NOTES FOR FABRICATING SILT FENCE**

1. FLOTTING SILT FENCE SHALL BE FABRICATED TO THE FOLLOWING SPECIFICATIONS:
  - HEIGHT: 12" MINIMUM
  - POSTS: 2" DIA. GALVANIZED STEEL, 10' ON CENTER
  - FENCE: 12" HIGH, 12" DIA. 1/2" GALVANIZED STEEL PIPE
  - FABRIC: 12" HIGH, 12" DIA. 1/2" GALVANIZED STEEL PIPE
  - POSTS TO BE SET IN 6" DIA. 1/2" GALVANIZED STEEL PIPE
  - POSTS TO BE SET IN 6" DIA. 1/2" GALVANIZED STEEL PIPE
  - POSTS TO BE SET IN 6" DIA. 1/2" GALVANIZED STEEL PIPE

**2 Silt Fence Detail**  
SCALE 1/4" = 1'-0"

**1 Site Plan - Callout 1**  
SCALE 1/4" = 1'-0"



**3 BIRDSEYE VIEW**  
SCALE 1/4" = 1'-0"

**SPACE Architectural Studio, P.C.**  
3 Fenwick Street, Suite #2 Skaneateles, N.Y. 13152  
Phone: (815) 682-0240 Email: SPAC@architecturalstudio.com

**PROPERTY RENOVATION**  
by  
**Joseph Mollendorf**  
1901 RUSSELLS LANE  
SKANEATELES, NY 13152

Revision	Description

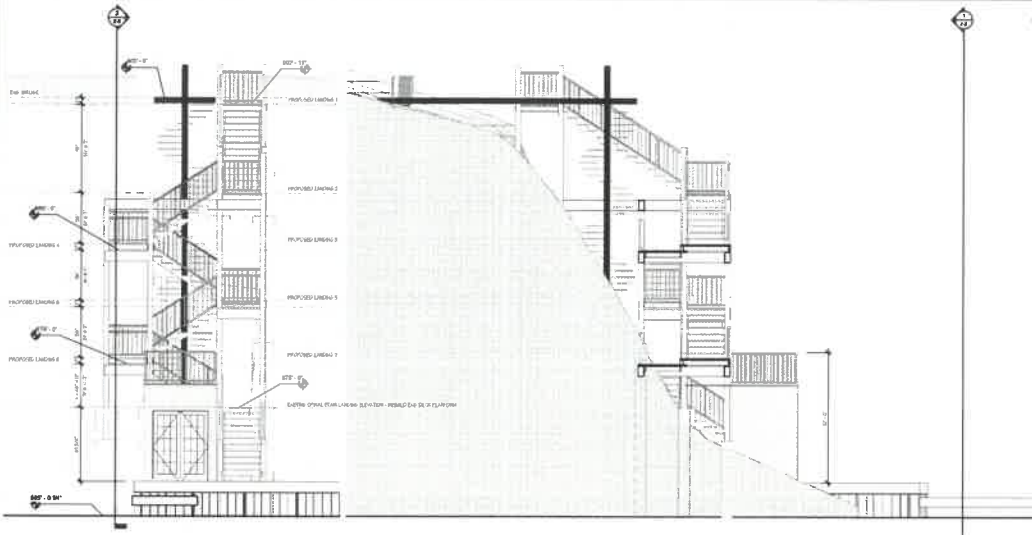


Zoning Submittal: 05.04.2022

Project Name	SP22-10	Phase	VLM
Date	05/19/22	Submitted	Checked
By	Ae 10/2022		

**ZONING**

**Z-2**



1 STAR SECTION A  
SCALE 1/8" = 1'-0"

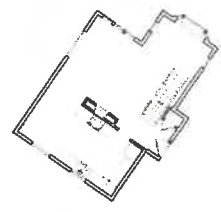
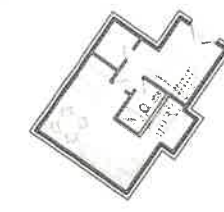
3 STAR SECTION B  
SCALE 1/8" = 1'-0"

6% FOOTPRINT ANALYSIS		
EXISTING CONDITIONS		
ITEM	AREA	
EXISTING FOOTPRINT AREA - HOUSE	± 894 SF	
EXISTING FOOTPRINT AREA - 940D	± 21 SF	
EXISTING FOOTPRINT AREA - 940D	± 53 SF	
TOTAL	± 968 SF	
DIVIDED BY LOT AREA	± 35.55 %	
TOTAL FOOTPRINT AREA % OF LOT	± 3.47%	

REF: § 140-6-4(1)(b)(1)(B)

10% FLOOR SPACE ANALYSIS		
EXISTING CONDITIONS		
ITEM	AREA	
EXISTING FLOOR SPACE AREA - HOUSE - 1ST FLOOR	± 894 SF	
EXISTING FLOOR SPACE AREA - HOUSE - 2ND FLOOR	± 894 SF	
EXISTING FLOOR SPACE AREA - 940D	± 21 SF	
EXISTING FLOOR SPACE AREA - 940D	± 53 SF	
TOTAL	± 1,862 SF	
DIVIDED BY LOT AREA	± 33.95 %	
TOTAL FLOOR SPACE AREA % OF LOT	± 8.47%	

REF: § 140-6-4(1)(b)(1)(B)



2 PROPOSED BASEMENT FLOOR PLAN  
SCALE 1/8" = 1'-0"

4 PROPOSED FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"

5 PROPOSED SECOND FLOOR PLAN  
SCALE 1/8" = 1'-0"

6% FOOTPRINT ANALYSIS		
PROPOSED		
ITEM	AREA	
EXISTING FOOTPRINT AREA - HOUSE	± 894 SF	
PROPOSED FOOTPRINT AREA - 940D	± 21 SF	
EXISTING FOOTPRINT AREA - 940D	± 53 SF	
TOTAL	± 968 SF	
DIVIDED BY LOT AREA	± 35.55 %	
TOTAL FOOTPRINT AREA % OF LOT	± 3.52%	

REF: § 140-6-4(1)(b)(1)(B)

10% FLOOR SPACE ANALYSIS		
PROPOSED		
ITEM	AREA	
EXISTING FLOOR SPACE AREA - HOUSE - 1ST FLOOR	± 894 SF	
EXISTING FLOOR SPACE AREA - HOUSE - 2ND FLOOR	± 894 SF	
PROPOSED FLOOR SPACE AREA - HOUSE - BASEMENT	± 84 SF	
PROPOSED FLOOR SPACE AREA - 940D	± 21 SF	
EXISTING FLOOR SPACE AREA - 940D	± 53 SF	
TOTAL	± 2,686 SF	
DIVIDED BY LOT AREA	± 23.99 %	
TOTAL FLOOR SPACE AREA % OF LOT	± 4.6%	

REF: § 140-6-4(1)(b)(1)(B)

Zoning Submittal: 05.04.2022

THE OWNER OF THIS PROJECT HAS REVIEWED THE SET OF PLANS AND HAS APPROVED THEM FOR CONSTRUCTION. THE OWNER HAS REVIEWED THE SET OF PLANS AND HAS APPROVED THEM FOR CONSTRUCTION. THE OWNER HAS REVIEWED THE SET OF PLANS AND HAS APPROVED THEM FOR CONSTRUCTION.

DATE	05/20/22	DESIGNED BY	FLM
DATE	05/17/22	CHECKED BY	CDP
DATE	As Per Owner	APPROVED BY	

ZONING

Z-3



**SPACE Architectural Studio, P.C.**  
3 Fennell Street, Suite #2, Skaneateles, N.Y. 13152  
Phone: (815) 855-1049 Email: SPAC@architecturalstudio.com

**PROPERTY RENOVATION**  
for  
**Joseph Mollendorf**  
1907 RUSSELLS LINDS  
SKANEATELES, NY 13152