

Tax Map ID#022.-01-12.3

NOTICE OF HEARING

PLEASE TAKE NOTICE that pursuant to Section 148-4, 148-5 148-6 148-7 148-8 and 148-10 of the Zoning Law of the Town of Skaneateles 2020 and Section 274-a and 274-b Town Law of the State of New York, the Planning Board of the Town of Skaneateles will hold a Public Hearing on the application of Matthew Slade/Self Storage Rte. 321 LLC for a Special Permit Amendment.

The application is for the expansion of the storage facility with four additional buildings.

The property in question is located at 4437 State Street Road in the Town of Skaneateles, New York and bears Tax Map ID#022.-01-12.3.

A copy of the application is available for inspection at the Town Hall, 24 Jordan Street, Skaneateles, New York.

SAID HEARING will be held on *Tuesday, September 19, 2023 at 6:30 p.m.* at the Town Offices, 24 Jordan Street, Skaneateles, New York or electronically as required by local and/or Executive Orders applicable to COVID 19. At that time all people will be heard or have an opportunity to provide written comment on this application.

Donald Kasper, Chair
Planning Board -Town of Skaneateles
Dated: September 6, 2023

Matt Slade

7/31/2022

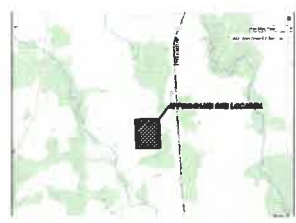
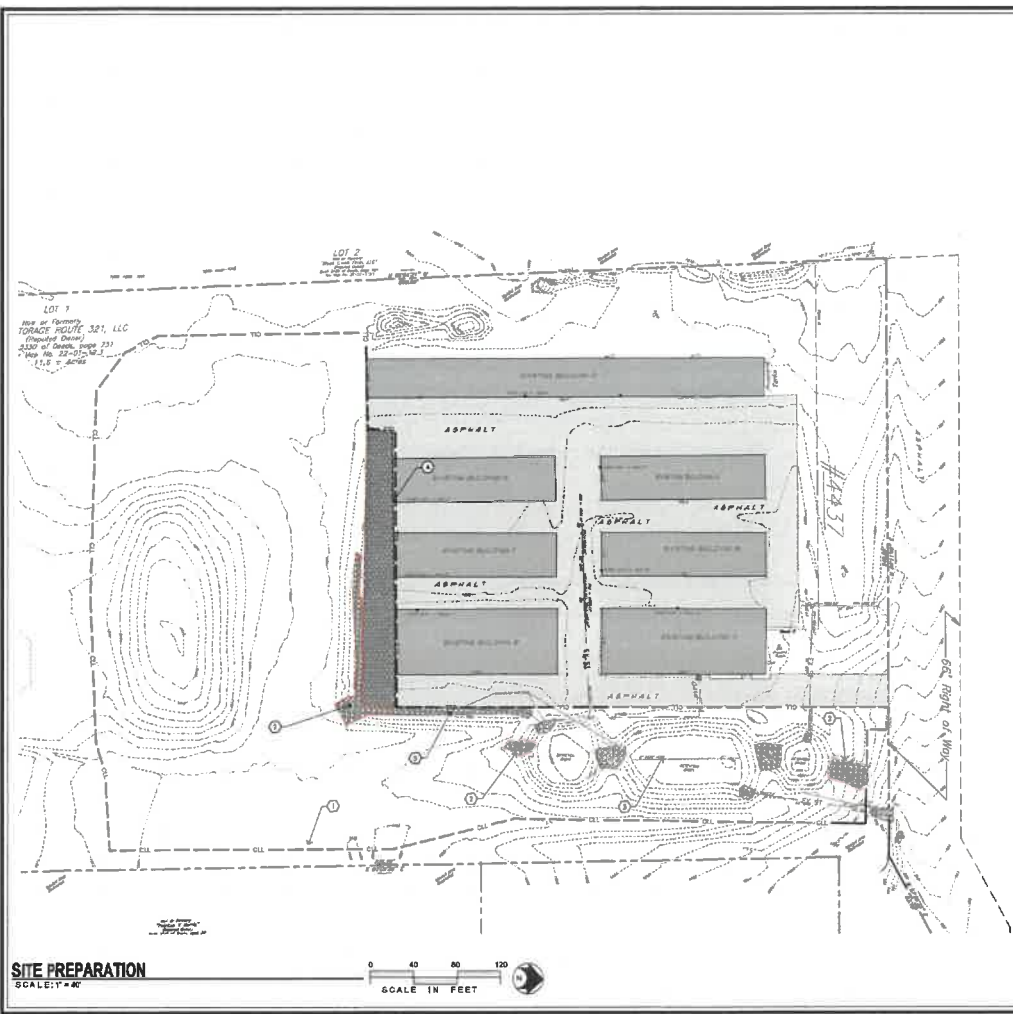
Self-Storage Route 321, LLC

4437 State Route 321, Skaneateles, NY 13152

Site Plan Amendment

Narrative Written Report

1. The request is consistent with the purposes of the land use district in which it is located and with all the applicable provisions of this chapter.
2. The request will not adversely affect surrounding land uses by creating excessive traffic, noise, dust, odors, glare, pollution, or other nuisances.
3. The request is consistent with the Comprehensive Plan.
4. All relevant site planning criteria in § 148-10-6 are satisfied within this request.



GENERAL NOTES

1. BOUNDARY SURVEY AND TOPOGRAHIC INFORMATION SHOWN HAS OBTAINED FROM A SURVEY BY COMMERCELAND SURVEYORS, DATED 05/04/08.

2. CONSTRUCTION LAND SURVEYORS
 STATE OF NEW YORK
 PH: (315) 621-8888

3. SURVEY SUBJECT TO ANY STATE OF FACTS AN ACCURATE AND UP TO DATE ABSTRACT OF TITLE WOULD REVEAL. OWNER AND CONTRACTOR DO NOT WARRANT THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. CONTRACTOR IS RESPONSIBLE FOR THROUGH EXAMINATION AND VERIFICATION OF ALL SURVEY DATA AND INFORMATION. CONTRACTOR AGREES TO BE BOUND BY ANY AND ALL CONDITIONS OF THE CONTRACT. ADDITIONAL INFORMATION ON EXISTING CONDITIONS HAS BEEN ADDED TO THE DRAWING BASED ON THE SURVEY CONDITIONS IF NOT MENTIONED TO AND CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY NOTES FOR ADDITIONAL INFORMATION.

4. THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT SHOWN HEREIN AND OTHER MAY BE DISCOVERED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT SHOWN THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT THE SURVEYING FIRM TO OBTAIN THIS INFORMATION BEFORE ANY EXCAVATION OCCURS FOR LOCATION IDENTIFICATION OF UNDERGROUND UTILITIES.

5. REMOVE ALL EXISTING REMOVALS EXCEPT REMOVAL LINES TO ACCURATE ANY EXISTING REMOVALS OR DETERMINATIONS FROM CONTRACTOR'S RECORDS. EXISTING AND EXPOSED SOILS TO BE PROPERLY REMOVED FROM SITE. COORDINATE REMOVAL WITH OWNER. REMOVE AND PROTECT ALL EXISTING EXPOSED SOILS TO BE REINSTALLED IN PLACE AND FOR REMOVAL OF EXISTING EXPOSED SOILS TO BE REINSTALLED IN PLACE AT APPROVED LOCATIONS WITHOUT INTERFERENCE WITH OTHER CONSTRUCTION WORK. BUSINESS TRAFFIC ON CHANGING.

6. ALL FILL MATERIAL OF EXCAVATIONS AND WORK RESULTING FROM REMOVALS AND REPAIRS MUST BE PLACED IN PLACE. EXPOSED SOILS SHALL ONLY BE COVERED WITH FILL OR SUBGRADE. COVER MATERIAL, INDIVIDUALLY COMPACTED.

7. PROTECT ALL UTILITIES AND PROTECT ALL ADJACENT PROPERTY. REMOVE AND REINSTALL ALL UTILITIES TO REMAIN. VERIFY LOCATIONS AND DEPTHS OF ALL SUBURFACE UTILITIES TO REMAIN PRIOR TO ANY ADJACENT REMOVAL AND EXCAVATION WORK.

8. ALL EXISTING FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED. IF THE CONTRACTOR DISCOVERS ANY OF THE EXISTING UTILITIES TO REMAIN FROM PLANS, THE CONTRACTOR SHALL REMOVE AND REINSTALL SUCH UTILITIES AT HIS OWN EXPENSE AND ASSUME ALL RESPONSIBILITY FOR SUCH DAMAGE WITHOUT ANY ADDITIONAL COST TO OWNER. REPAIRS AND REPLACEMENT MATERIAL SHALL BE SAME QUALITY AND QUANTITY AS ORIGINAL.

9. THE CONTRACTOR SHALL COMPLY EXISTING SHADOWS AND LOCATIONS OF ALL EXISTING REMOVALS WITHIN THE CONTRACT AREA. THE CONTRACTOR SHALL CONTACT THE BUREAU OF TAXES TO VERIFY ANY DISCREPANCIES BE FOUND AT 100% TO 100%.

10. EXISTING REMOVALS OF UTILITY STRUCTURES TO REMAIN AREAS OF SPACE CHANGES TO MEET NEW LINES AND SERVICES.

11. ALL NEW-PAVED AREAS ARE TO BE REPAVED WITHIN 180 DAYS OF COMPLETION OF WORK AND BEFORE.

12. CONTRACTOR SHALL MAINTAIN SOME SPECIALTY AND LOCAL SITE DURING AND AFTER THE REMOVAL OF THE PROJECT.

13. AS A RESULT OF ALL CONSTRUCTION MANAGEMENT FACILITIES SHALL BE PROVIDED TO BUREAU OF TAXES PRIOR TO PROJECT COMMENCEMENT.

SITE REMOVAL / CONSTRUCTION NOTES

	PROPOSED LIMITS OF ASPHALT PAVEMENT REMOVAL
	PROPOSED LIMITS OF RRP RAMP SLOPE REMOVAL
	CONTRACT LEFT LINE
	PROPOSED EXISTING SUBGRADE
	PROPOSED RIGHT LEFT LINE

B&C STORAGE SKANEATELES
 4437 STATE STREET
 TOWN OF SKANEATELES ONONDAGA COUNTY, NY

REVISIONS

SITE PREP PLAN
 C-1

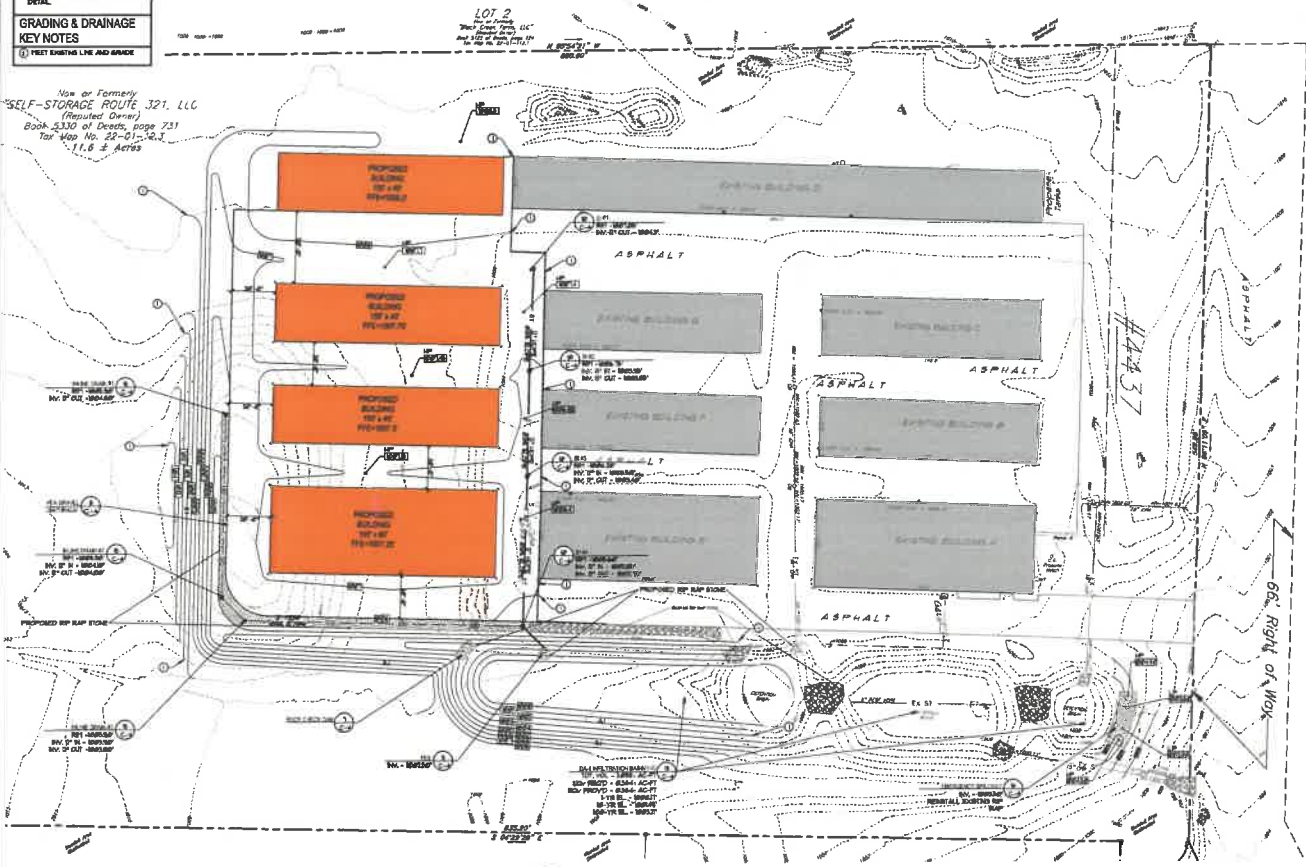
**GRADING & DRAINAGE
GENERAL NOTES**

1. ANY FILL REQUIRED BELOW FINISH SURFACE SHALL ONLY BE COARSE AGGREGATE FILL OR BEDDING COARSE MATERIALS PER SPEC.

**GRADING & DRAINAGE
KEY NOTES**

1. TEST EXISTING LIME AND GRADE

Now or Formerly
SELF-STORAGE ROUTE 321, LLC
 (Replated Owners)
 Book 5330 of Deeds, page 731
 Tax Map No. 22-01-0-1
 11.0 ± Acres



GRADING AND DRAINAGE PLAN
 SCALE: 1" = 30'



RZ Engineering, PLLC
 600 E. ROAD, SUITE 100
 FORT STOROS, NY 13050
 PH: 518 682-0300



B&C STORAGE SKANEATELES
 4437 STATE STREET
 TOWN OF SKANEATELES ONONDAGA COUNTY, NY

REVISIONS	

Drawn by: D.P.F.
 Checked by: P.L.Z.
 Title: 2280
 Date: 05/03/2011
 Scale: AS-SHOWN

**GRADING AND
DRAINAGE PLAN**

C-2



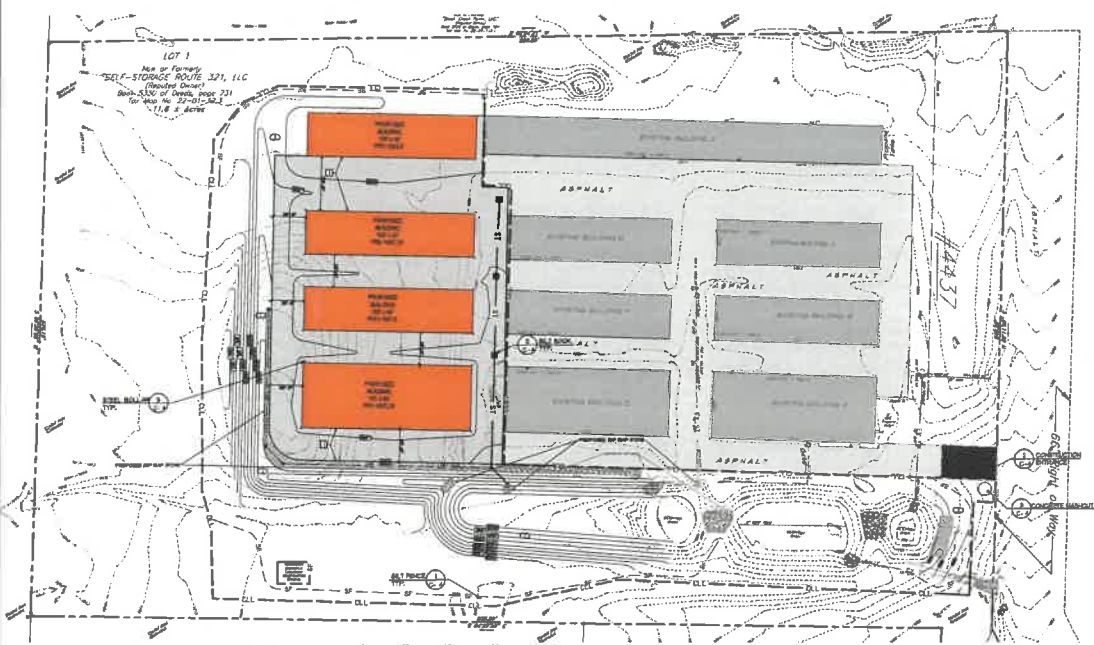
EROSION CONTROL NOTES and EROSION CONTROL REQUIREMENTS

1. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL DISTURBED AREAS SHALL BE STABILIZED AS SOON AS PRACTICABLE. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REMOVED OR MODIFIED AS NECESSARY. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REMOVED OR MODIFIED AS NECESSARY.
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LAYOUT AND EROSION CONTROL PLAN
 SCALE: 1/4" = 1'-0"

LAYOUT CONSTRUCTION NOTES

1. PROPOSED ASPHALT PAVEMENT PER DETAIL 60-A.
2. SITE EROSION AND SEDIMENTATION CONTROL NOTES.
3. ALL UNPAVED AREAS ARE TO BE RESEED LAMB PER DETAIL 60-A.

SOIL RESTORATION NOTES

1. SOIL RESTORATION NOTES.
2. SOIL RESTORATION NOTES.
3. SOIL RESTORATION NOTES.

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5. SOIL RESTORATION NOTES.



BCC STORAGE SKANEATELES
 4437 STATE STREET
 TOWN OF SKANEATELES ONONDAGA COUNTY, NY

NO.	DATE	DESCRIPTION

LAYOUT & ESC PLAN

C-3



B&C STORAGE SKANEATELES
 4437 STATE STREET
 TOWN OF SKANEATELES ONONDAGA COUNTY, NY

NO.	DATE	DESCRIPTION

DETAILS
C-4

SECTION - SILTING SOCK CONCRETE WASHOUT
 NOT TO SCALE
 1. CONCRETE WASHOUT SHALL BE CONSTRUCTED AS SHOWN.
 2. CONCRETE WASHOUT SHALL BE CONSTRUCTED AS SHOWN.
 3. CONCRETE WASHOUT SHALL BE CONSTRUCTED AS SHOWN.

SECTION - ROCK CHECK DAM
 NOT TO SCALE
 1. ROCK CHECK DAM SHALL BE CONSTRUCTED AS SHOWN.
 2. ROCK CHECK DAM SHALL BE CONSTRUCTED AS SHOWN.
 3. ROCK CHECK DAM SHALL BE CONSTRUCTED AS SHOWN.

SECTION - SEEDED LAWN
 NOT TO SCALE
 1. SEEDED LAWN SHALL BE CONSTRUCTED AS SHOWN.
 2. SEEDED LAWN SHALL BE CONSTRUCTED AS SHOWN.
 3. SEEDED LAWN SHALL BE CONSTRUCTED AS SHOWN.

SECTION - CONSTRUCTION ENTRANCE (MUDRACK)
 NOT TO SCALE
 1. CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AS SHOWN.
 2. CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AS SHOWN.
 3. CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AS SHOWN.

SECTION - STEEL BOLLARD @ BUILDING
 NOT TO SCALE
 1. STEEL BOLLARD SHALL BE CONSTRUCTED AS SHOWN.
 2. STEEL BOLLARD SHALL BE CONSTRUCTED AS SHOWN.
 3. STEEL BOLLARD SHALL BE CONSTRUCTED AS SHOWN.

SECTION - ASPHALT PAVEMENT - PARKING
 NOT TO SCALE
 1. ASPHALT PAVEMENT SHALL BE CONSTRUCTED AS SHOWN.
 2. ASPHALT PAVEMENT SHALL BE CONSTRUCTED AS SHOWN.
 3. ASPHALT PAVEMENT SHALL BE CONSTRUCTED AS SHOWN.

SECTION - PEA GRAVEL DIAPHRAGM
 NOT TO SCALE
 1. PEA GRAVEL DIAPHRAGM SHALL BE CONSTRUCTED AS SHOWN.
 2. PEA GRAVEL DIAPHRAGM SHALL BE CONSTRUCTED AS SHOWN.
 3. PEA GRAVEL DIAPHRAGM SHALL BE CONSTRUCTED AS SHOWN.

SECTION - PIPE BEDDING
 NOT TO SCALE
 1. PIPE BEDDING SHALL BE CONSTRUCTED AS SHOWN.
 2. PIPE BEDDING SHALL BE CONSTRUCTED AS SHOWN.
 3. PIPE BEDDING SHALL BE CONSTRUCTED AS SHOWN.

SECTION - IN-LINE BASIN - LIGHT DUTY
 NOT TO SCALE
 1. IN-LINE BASIN SHALL BE CONSTRUCTED AS SHOWN.
 2. IN-LINE BASIN SHALL BE CONSTRUCTED AS SHOWN.
 3. IN-LINE BASIN SHALL BE CONSTRUCTED AS SHOWN.

SECTION - DRAINAGE STRUCTURE PROTECTION
 NOT TO SCALE
 1. DRAINAGE STRUCTURE PROTECTION SHALL BE CONSTRUCTED AS SHOWN.
 2. DRAINAGE STRUCTURE PROTECTION SHALL BE CONSTRUCTED AS SHOWN.
 3. DRAINAGE STRUCTURE PROTECTION SHALL BE CONSTRUCTED AS SHOWN.

SECTION - EMERGENCY SPILLWAY
 NOT TO SCALE
 1. EMERGENCY SPILLWAY SHALL BE CONSTRUCTED AS SHOWN.
 2. EMERGENCY SPILLWAY SHALL BE CONSTRUCTED AS SHOWN.
 3. EMERGENCY SPILLWAY SHALL BE CONSTRUCTED AS SHOWN.

SECTION - PAVED AREAS
 NOT TO SCALE
 1. PAVED AREAS SHALL BE CONSTRUCTED AS SHOWN.
 2. PAVED AREAS SHALL BE CONSTRUCTED AS SHOWN.
 3. PAVED AREAS SHALL BE CONSTRUCTED AS SHOWN.

SECTION - UNPAVED AREAS
 NOT TO SCALE
 1. UNPAVED AREAS SHALL BE CONSTRUCTED AS SHOWN.
 2. UNPAVED AREAS SHALL BE CONSTRUCTED AS SHOWN.
 3. UNPAVED AREAS SHALL BE CONSTRUCTED AS SHOWN.

SECTION - FLARED END SECTION
 NOT TO SCALE
 1. FLARED END SECTION SHALL BE CONSTRUCTED AS SHOWN.
 2. FLARED END SECTION SHALL BE CONSTRUCTED AS SHOWN.
 3. FLARED END SECTION SHALL BE CONSTRUCTED AS SHOWN.

SECTION - STORM INLET (SI)
 NOT TO SCALE
 1. STORM INLET SHALL BE CONSTRUCTED AS SHOWN.
 2. STORM INLET SHALL BE CONSTRUCTED AS SHOWN.
 3. STORM INLET SHALL BE CONSTRUCTED AS SHOWN.

SECTION - SPILLWAY
 NOT TO SCALE
 1. SPILLWAY SHALL BE CONSTRUCTED AS SHOWN.
 2. SPILLWAY SHALL BE CONSTRUCTED AS SHOWN.
 3. SPILLWAY SHALL BE CONSTRUCTED AS SHOWN.

SECTION - IN-LINE EXISTING TREATMENT BASIN
 NOT TO SCALE
 1. IN-LINE EXISTING TREATMENT BASIN SHALL BE CONSTRUCTED AS SHOWN.
 2. IN-LINE EXISTING TREATMENT BASIN SHALL BE CONSTRUCTED AS SHOWN.
 3. IN-LINE EXISTING TREATMENT BASIN SHALL BE CONSTRUCTED AS SHOWN.

SECTION - PLAN
 NOT TO SCALE
 1. PLAN SHALL BE CONSTRUCTED AS SHOWN.
 2. PLAN SHALL BE CONSTRUCTED AS SHOWN.
 3. PLAN SHALL BE CONSTRUCTED AS SHOWN.

SECTION - EROSION CONTROL
 NOT TO SCALE
 1. EROSION CONTROL SHALL BE CONSTRUCTED AS SHOWN.
 2. EROSION CONTROL SHALL BE CONSTRUCTED AS SHOWN.
 3. EROSION CONTROL SHALL BE CONSTRUCTED AS SHOWN.

SECTION - ROLLER AT BUILDING
 NOT TO SCALE
 1. ROLLER AT BUILDING SHALL BE CONSTRUCTED AS SHOWN.
 2. ROLLER AT BUILDING SHALL BE CONSTRUCTED AS SHOWN.
 3. ROLLER AT BUILDING SHALL BE CONSTRUCTED AS SHOWN.

SECTION - STEEL BOLLARD @ BUILDING
 NOT TO SCALE
 1. STEEL BOLLARD SHALL BE CONSTRUCTED AS SHOWN.
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 3. STEEL BOLLARD SHALL BE CONSTRUCTED AS SHOWN.