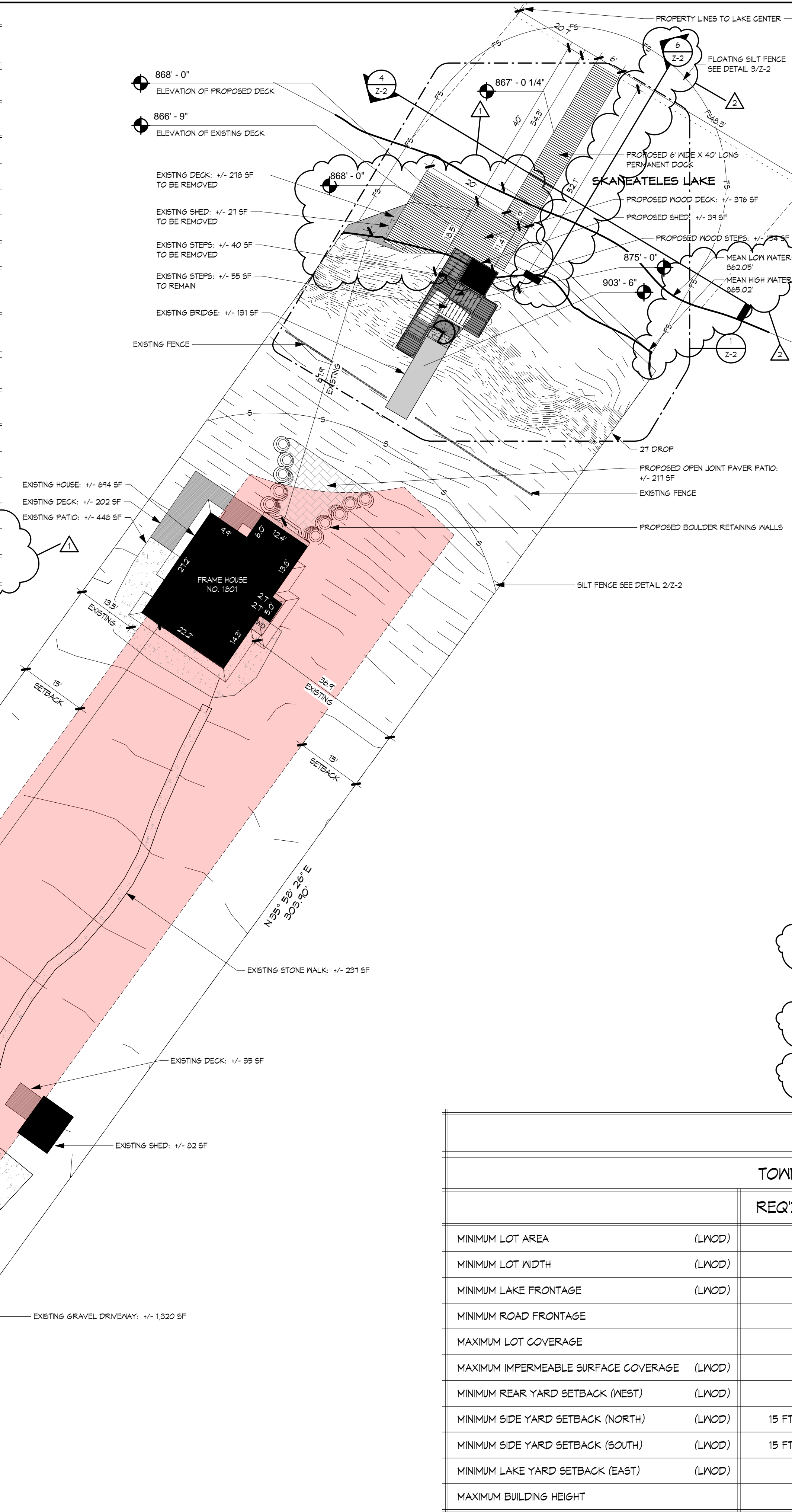


SHORELINE STRUCTURES	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING DECK AREA	+/- 278 SF
EXISTING SHED	+/- 27 SF
EXISTING STEPS	+/- 95 SF
EXISTING BRIDGE	+/- 131 SF
TOTAL	+/- 531 SF

*PER § 148-T-1K(1)(a)(3)(c) - ON LOTS WITH LESS THAN 100 FT OF LAKE FRONTAGE: A MAXIMUM OF 400 SF

SHORELINE STRUCTURES	
PROPOSED	
ITEM	AREA
PROPOSED WOOD STEPS	+/- 154 SF
PROPOSED SHED	+/- 39 SF
EXISTING STEPS	+/- 55 SF
EXISTING BRIDGE	+/- 131 SF
PROPOSED WOOD DECK	+/- 376 SF
TOTAL	+/- 755 SF

*PER § 148-T-1K(1)(a)(3)(c) - ON LOTS WITH LESS THAN 100 FT OF LAKE FRONTAGE: A MAXIMUM OF 400 SF



LOT COVERAGE	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING HOUSE AREA	+/- 694 SF
EXISTING GRAVEL DRIVEWAY	+/- 1,320 SF
EXISTING BRIDGE AREA	+/- 131 SF
EXISTING SHED AREA	+/- 27 SF
EXISTING SHED AREA	+/- 82 SF
EXISTING DECK AREA	+/- 278 SF
EXISTING DECK AREA	+/- 35 SF
EXISTING DECK AREA	+/- 202 SF
EXISTING PATIO AREA	+/- 448 SF
EXISTING STONE WALK	+/- 237 SF
EXISTING STEPS	+/- 95 SF
TOTAL	+/- 3,549 SF
DIVIDED BY LOT AREA	+/- 23,155 SF
LOT COVERAGE	+/- 15.33%

LOT COVERAGE	
PROPOSED	
ITEM	AREA
EXISTING HOUSE AREA	+/- 694 SF
EXISTING GRAVEL DRIVEWAY	+/- 1,320 SF
EXISTING BRIDGE AREA	+/- 131 SF
PROPOSED SHED AREA	+/- 39 SF
EXISTING SHED AREA	+/- 82 SF
EXISTING DECK AREA	+/- 278 SF
EXISTING DECK AREA	+/- 35 SF
EXISTING DECK AREA	+/- 202 SF
EXISTING PATIO AREA	+/- 448 SF
EXISTING STONE WALK	+/- 237 SF
EXISTING STEPS TO REMAIN	+/- 55 SF
PROPOSED WOOD DECK	+/- 376 SF
PROPOSED WOOD STEPS	+/- 154 SF
PROPOSED OPEN JOINT PAVER PATIO	+/- 217 SF
TOTAL	+/- 4,268 SF
DIVIDED BY LOT AREA	+/- 23,155 SF
LOT COVERAGE	+/- 18.43%

IMPERMEABLE SURFACE COVERAGE	
EXISTING CONDITIONS	
ITEM	AREA
EXISTING HOUSE AREA	+/- 694 SF
EXISTING GRAVEL DRIVEWAY	+/- 1,320 SF
EXISTING BRIDGE AREA	+/- 131 SF
EXISTING SHED AREA	+/- 27 SF
EXISTING SHED AREA	+/- 82 SF
TOTAL	+/- 2,254 SF
DIVIDED BY LOT AREA	+/- 23,155 SF
IMPERMEABLE SURFACE COVERAGE	+/- 9.73%

IMPERMEABLE SURFACE COVERAGE	
PROPOSED	
ITEM	AREA
EXISTING HOUSE AREA	+/- 694 SF
EXISTING GRAVEL DRIVEWAY	+/- 1,320 SF
EXISTING BRIDGE AREA	+/- 131 SF
PROPOSED SHED AREA	+/- 39 SF
EXISTING SHED AREA	+/- 82 SF
TOTAL	+/- 2,266 SF
DIVIDED BY LOT AREA	+/- 23,155 SF
IMPERMEABLE SURFACE COVERAGE	+/- 9.79%

DENSITY CONTROL SCHEDULE						
TOWN OF SKANEATELES / RF - RURAL AND FARMING / LAKE WATERSHED OVERLAY DISTRICT						
	REQ'D./ALLOWED	EXISTING	PROPOSED	DIFFERENCE	REQ'D. VARIANCE	CODE REFERENCE
MINIMUM LOT AREA (LNOD)	20,000 SF	+/- 23,155 SF	+/- 23,155 SF	NO CHANGE	-	PER § 148-8-9A(1)(a)
MINIMUM LOT WIDTH (LNOD)	50 FT.	+/- 75.0 FT.	+/- 75.0 FT.	NO CHANGE	-	PER § 148-8-9A(1)(b)
MINIMUM LAKE FRONTAGE (LNOD)	75 FT.	+/- 83.7 FT.	+/- 83.7 FT.	NO CHANGE	-	PER § 148-8-9A(1)(c)
MINIMUM ROAD FRONTAGE	100 FT.	+/- 75.0 FT.	+/- 75.0 FT.	NO CHANGE	+/- 25.00 FT. (P.E.N.C.)	PER § 148-4-2C(1)(b)
MAXIMUM LOT COVERAGE	20%	+/- 15.33%	+/- 17.32%	+/- 1.99%	-	PER § 148-4-2C(1)(b)
MAXIMUM IMPERMEABLE SURFACE COVERAGE (LNOD)	10%	+/- 9.73%	+/- 9.79%	+/- 0.06%	-	PER § 148-8-9A(1)(n)
MINIMUM REAR YARD SETBACK (LNOD)	25 FT	+/- 194.1 FT.	+/- 194.1 FT.	NO CHANGE	-	PER § 148-8-9A(1)(e)
MINIMUM SIDE YARD SETBACK (NORTH) (LNOD)	15 FT. (75.0 FT. X .20)	+/- 13.5 FT.	+/- 13.5 FT.	NO CHANGE	+/- 1.5 FT. (P.E.N.C.)	PER § 148-8-9A(1)(d)
MINIMUM SIDE YARD SETBACK (SOUTH) (LNOD)	15 FT. (75.0 FT. X .20)	+/- 36.9 FT.	+/- 36.9 FT.	NO CHANGE	-	PER § 148-8-9A(1)(d)
MINIMUM LAKE YARD SETBACK (EAST) (LNOD)	60 FT.	+/- 67.9 FT.	+/- 67.9 FT.	NO CHANGE	-	PER § 148-8-9A(1)(f)
MAXIMUM BUILDING HEIGHT	35 FT.	+/- 22.6 FT.	+/- 22.6 FT.	NO CHANGE	-	PER § 148-4-2C(1)(b)

* (P.E.N.C.) - PRE-EXISTING NON-CONFORMING.

1 Site Plan
Z-1 SCALE: 1/16" = 1'-0"

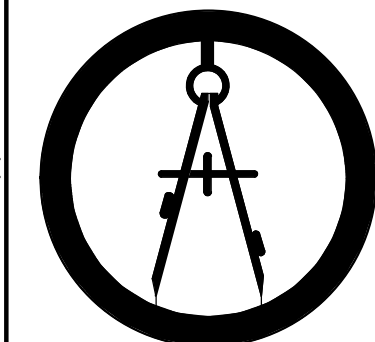
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE PRIOR TO THE COMPLETION OF ANY WORK AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES FOUND.
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED.

PART 645(B) OF TITLE VII OF THE EDUCATION LAW OF NEW YORK PROHIBITS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT. ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 645(B).

Project Number: 2022-10
Date: 01/31/22
Scale: As indicated
Drawn by: WLM
Checked by: Checker

ZONING

Z-1



PROPERTY RENOVATION

for

Joseph Mollendorf

1801 RUSSELLS LNDG

SKANEATELES, NY 13152

Revisions

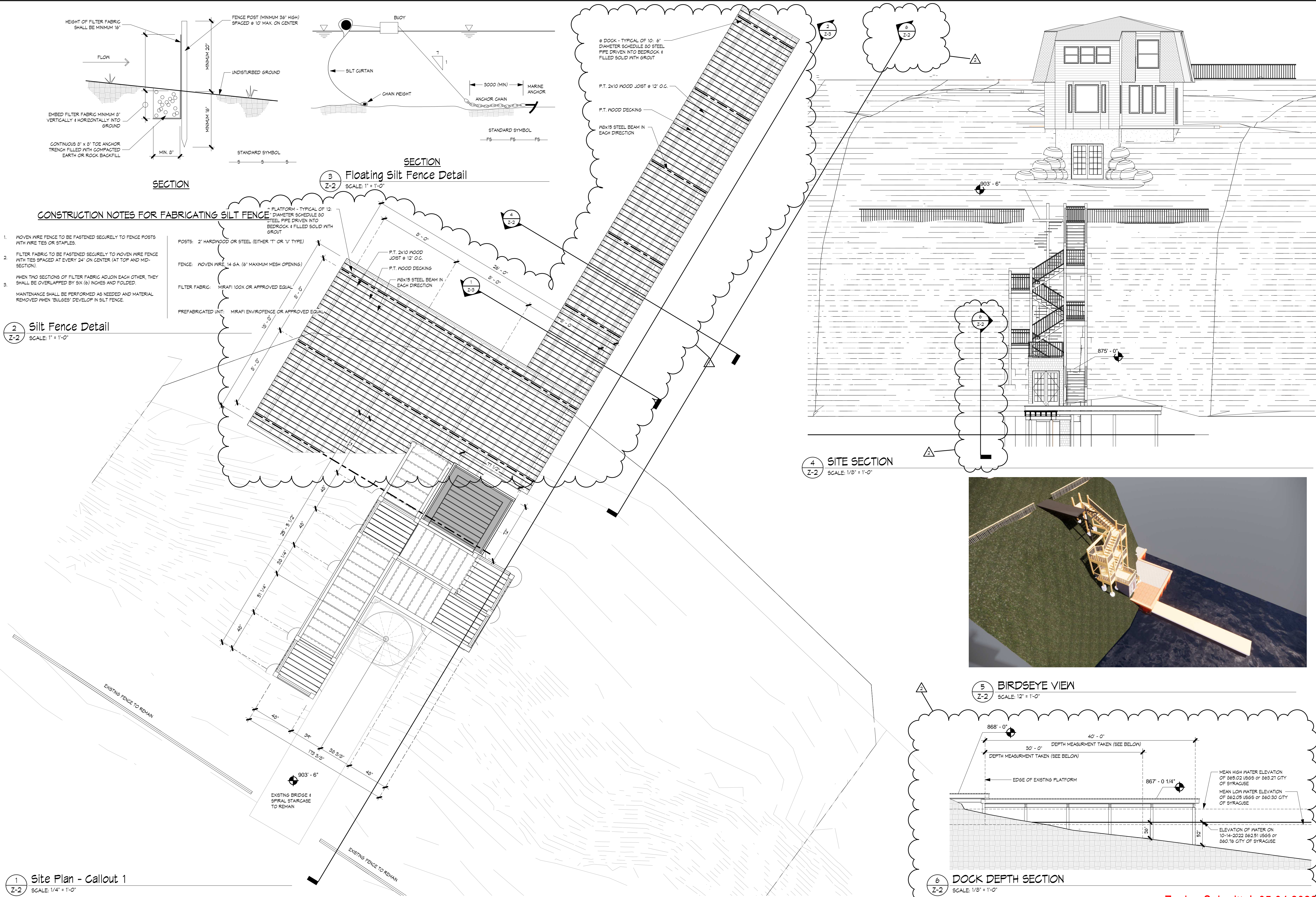
No.	Description	Date
1	Removal of seawall and replacement with open pier system	9-5-2022
2	MM & MLM update, Property Line Projection indicated & Lake Bottom Documentation	10-26-2022

SPACE Architectural Studio, P.C.

3 Fennell Street, Suite #2 Skaneateles, N.Y. 13152

Phone: (315) 685-0540 Email: SPACArchitecturalStudio@yahoo.com

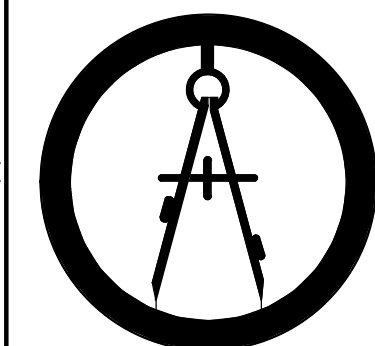
Zoning Submittal: 05.04.2022



SPACE Architectural Studio, P.C.
3 Fennell Street, Suite #2 Skaneateles, N.Y. 13152
Phone: (315) 685-0540 Email: SPACearchitecturalstudio@yahoo.com

PROPERTY RENOVATION
for
Joseph Mollendorf
1801 RUSSELLS LNDG
SKANEATELES, NY 13152

Revisions	
No.	Description
1	Removal of seawall and replacement with open pier system
2	MM & MLN update, Property Line Projection indicated & Lake Bottom Documentation

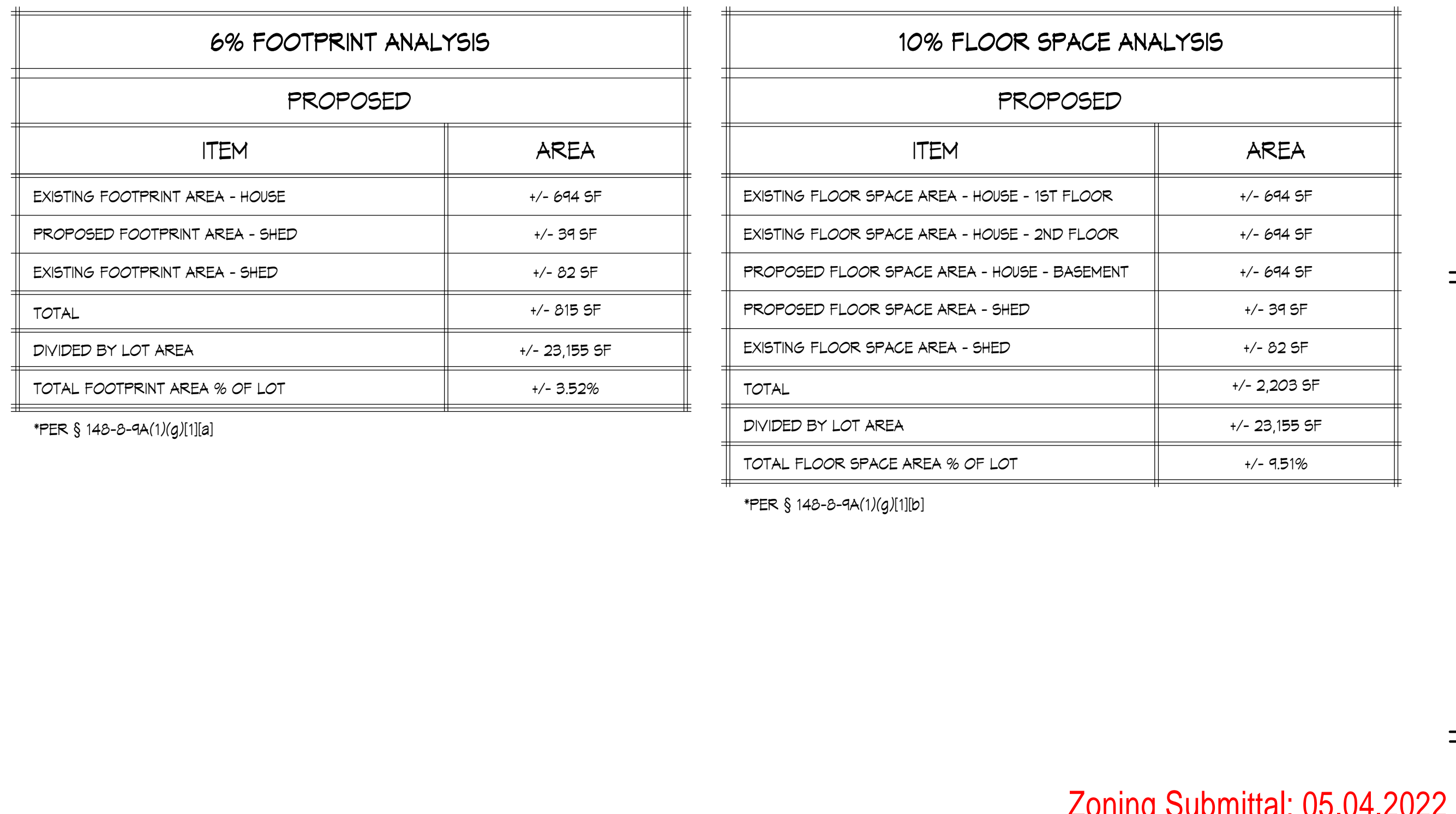
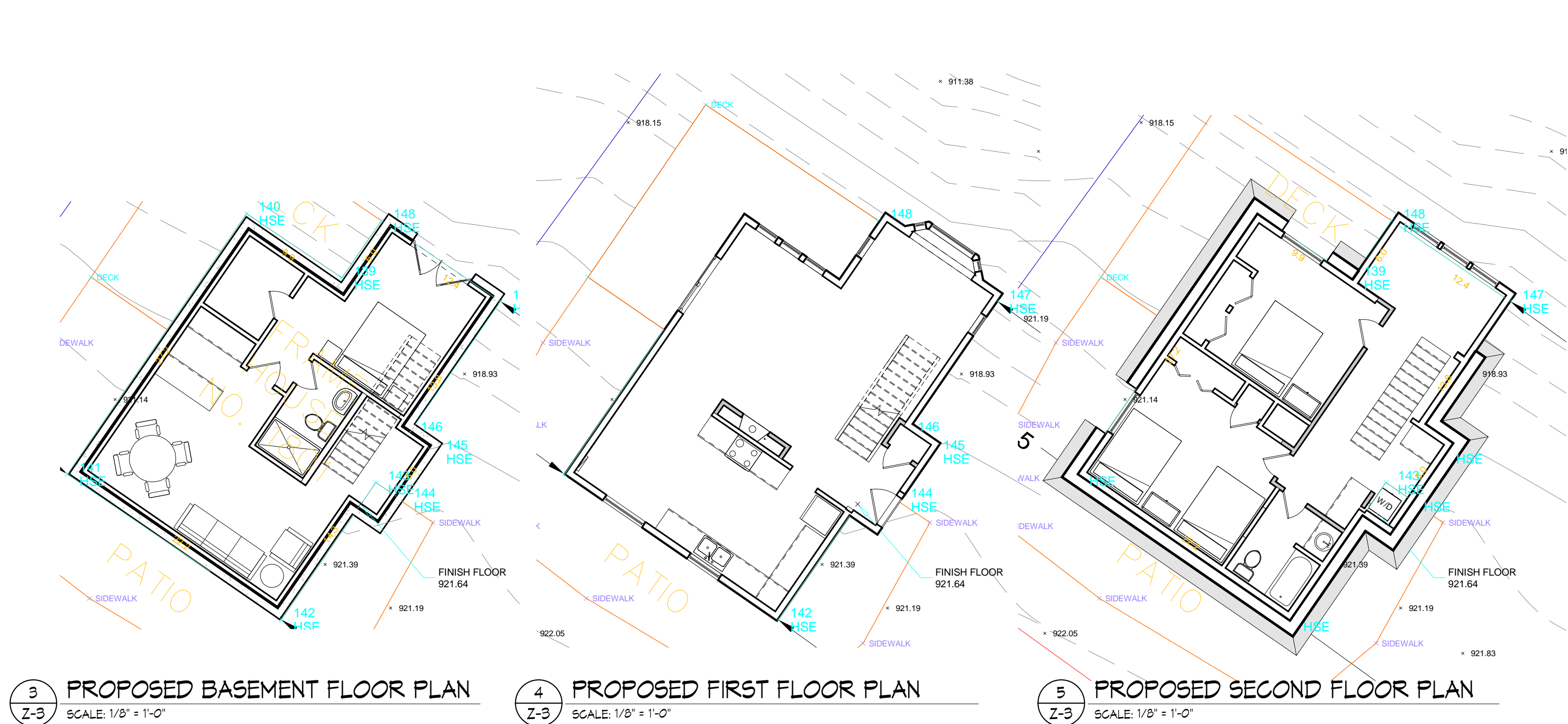
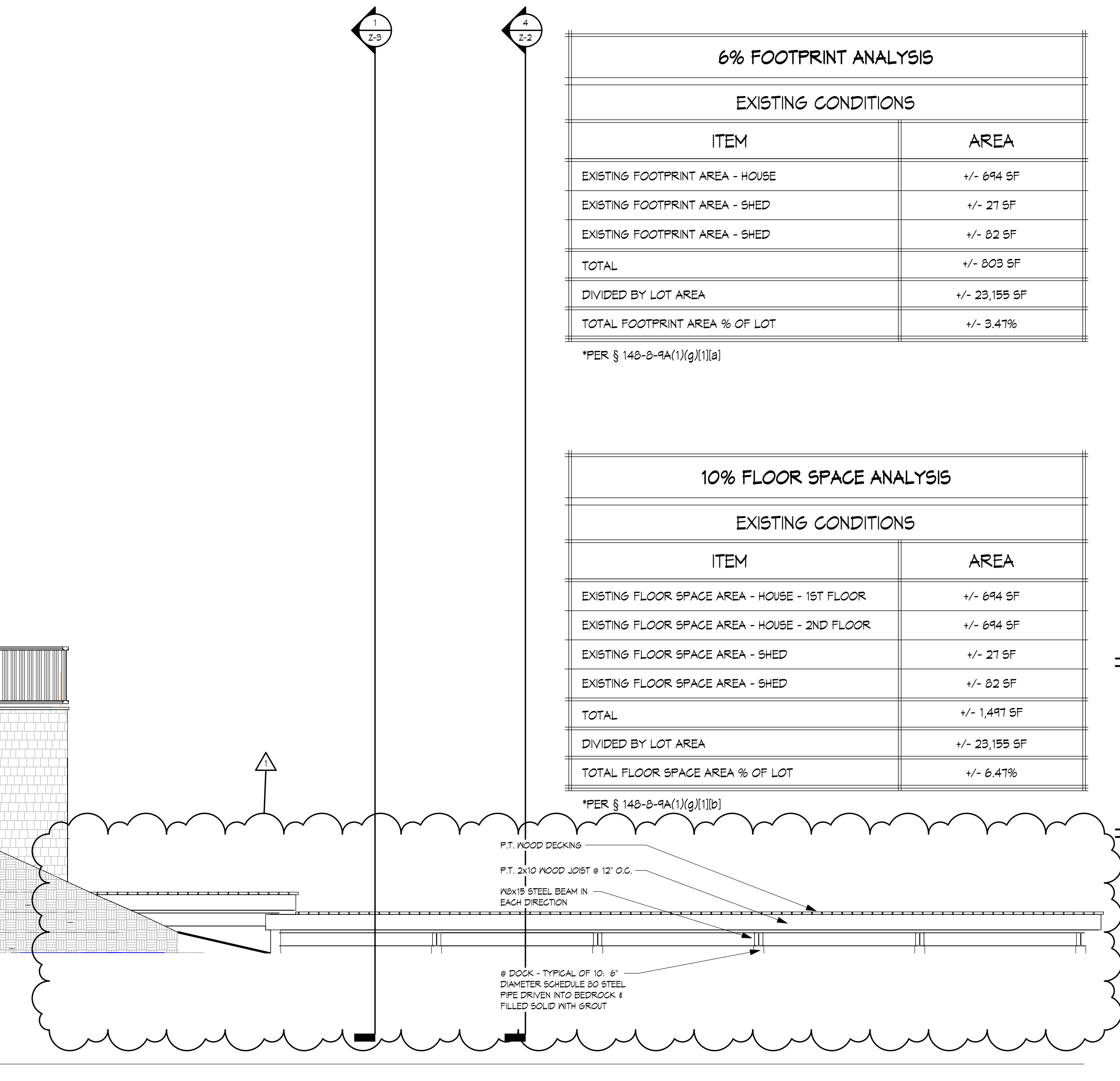
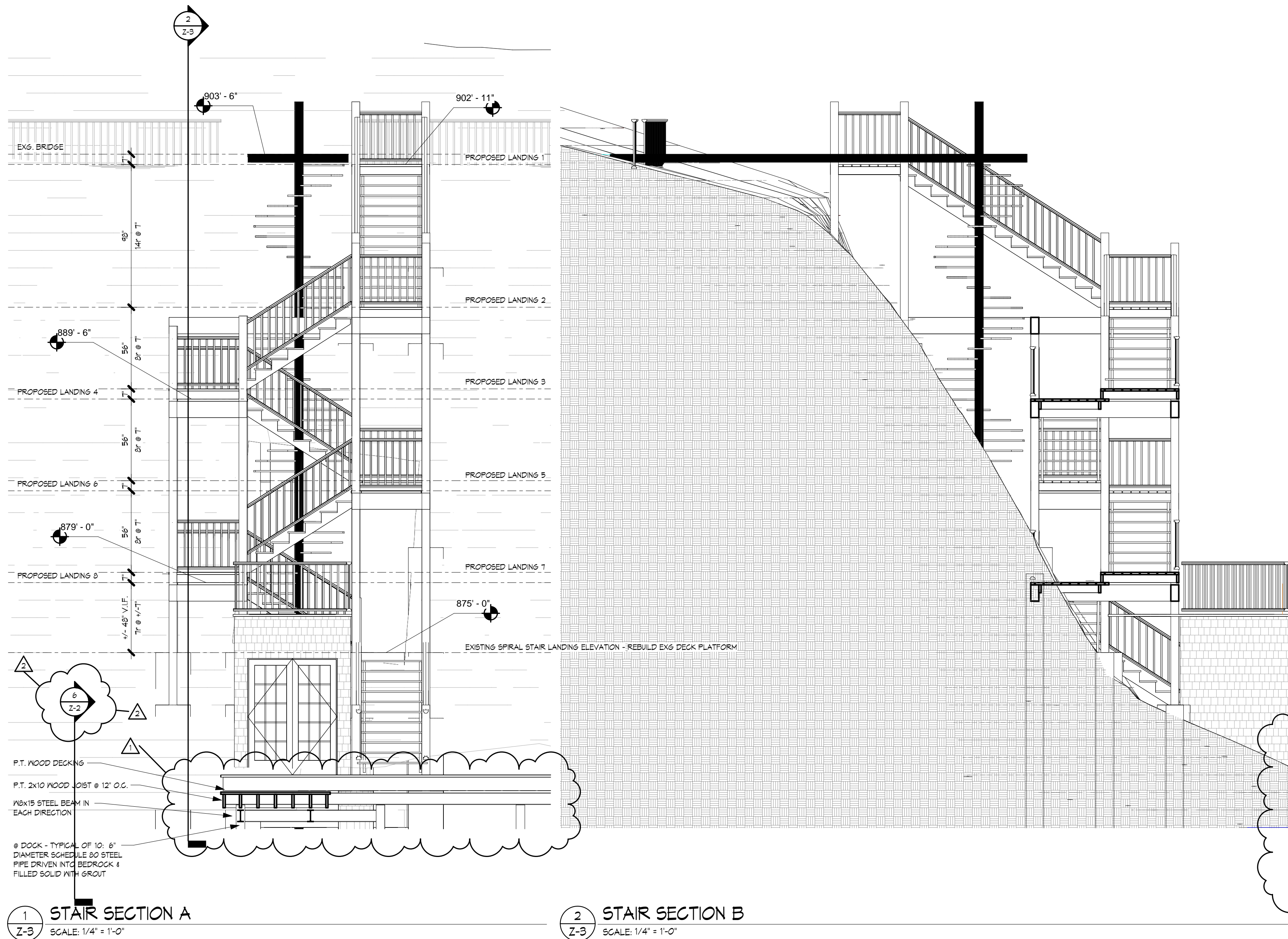


Zoning Submittal: 05.04.2022

ZONING

Z-2

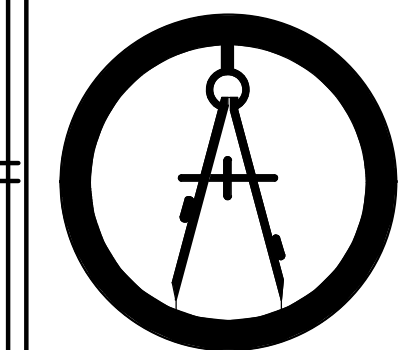
Project Number:	2022-10	Drawn by:	MLM
Date:	02/15/22	Checked by:	Checker
Scale:	As indicated		



No.	Description	Date
1	Removal of seawall and replacement with open pier system	9-5-2022
2	MIM & MIA update, Property Line Projection indicated & Lake Bottom Documentation	10-26-2022

Zoning Submittal: 05.04.2022

ZONING
Z-3



THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE PRIOR TO THE COMPLETION OF ANY WORK AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES FOUND.
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED.
PART 645(b) OF TITLE VII OF THE EDUCATION LAW OF NEW YORK PROHIBITS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT. ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 645(b).

Project Number:	2022-10	Drawn by:	WLM
Date:	02/17/22	Checked by:	Checker
Scale:	As indicated		