

**Tax Map ID#047.-01-06.1**

**NOTICE OF PUBLIC HEARING**

**PLEASE TAKE NOTICE** that pursuant to Section 148-6, 131-1, 131-2, 131-3 and 131-7 of the Zoning Law of the Town of Skaneateles and Section 276-279 Town Law of the State of New York, the Planning Board of the Town of Skaneateles will hold a **Public Hearing** on the application of Village Meadow LLC Subdivision for the proposal to create an eight lot subdivision on a private road.

The parcel involved with the application is located at Franklin Street Road bearing Tax Parcel ID # 047.-01-06.1. A copy of the application is available for inspection at the Town Hall, 24 Jordan Street, Skaneateles, New York.

Said Public Hearing will be held on *Tuesday, April 16, 2024 at 6:00 p.m.* at the Town Offices, 24 Jordan Street, Skaneateles, New York or electronically as required by local and/or Executive Orders applicable to COVID 19. At that time all persons will be heard or have an opportunity to provide written comment on this application.

Donald Kasper, Chair  
Planning Board-Town of Skaneateles  
Dated: April 3, 2024

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EGGLESTON & KRENZER ARCHITECTS, PC  
The Trolley Bldg  
1391 East Genesee Street  
Skaneateles, New York 13152

**November 8, 2023 and February 12, 2024 Revised**  
September 1, 2023

Town of Skaneateles Planning Board  
24 Jordan Street  
Skaneateles, NY 13152

Re: Josh LaGrow – ‘Village Meadow Subdivision’  
Franklin Street Road - Tax Map # 047.-01-06.1

### **NARRATIVE**

The Franklin Street property is 19.16 Acres with 60 ft of road frontage located in the RR District outside the Lake Watershed Overzone. The property gently slopes to the east and drains towards a couple ditches and culverts that cross Franklin Street Road. Small residential lots abut the northeast side of the property and farmland abuts the south and west sides. A utility line crosses the north end of the property and some semi-steep land is to the west. The property is currently used for growing crops. It is within a Town water district and the soils have moderate to poor pecculation. A Land Suitability Analysis below indicates the only conservation value would be in the current agricultural field and possible moderate sloped land in one area.

Josh LaGrow is interested in proposing a develop of eight, two acre residential lots for moderate sized homes that would appeal to families, being close to the Village, on a **private** road. The property has one acre of steep slope area greater than 12% and 0.16 acres of utility easement resulting in 18.0 acres of buildable land. There are no wetlands or watercourses according to the Town’s Environmental Resources Planning Map. A new **private** road, no longer than 800 feet with a **circle at the west end**, will serve the proposed 8 new lots and a **20 ft wide strip would continue to the adjacent farmland to the west for a walkway connection to any future development**. This road would consume about 1.5 acres. Each lot would have at least the required 150 ft of frontage on the road. A sidewalk is included on the north side of the new road from the Franklin Street **around the circle and to Lot 8**. In that the septic systems will be raised beds or alternative systems, larger lot sizes are necessary vs smaller Conservation subdivision lots. Storm water areas have been contemplated along the Northeast side of the property.

The only waiver required would be for the existing 60 ft lot width for a **Private** Road at Franklin Street for a distance of 200 ft whereas 66 ft is required. Section 131-2.B.6 allows the Planning board to grant a waiver to this. A 66 ft wide strip of land dedicated to the Town, would extend to the adjacent lot for potential future tie in, but because this is unlikely, the permanent cul-de-sac is added instead of a temporary hammer head. The cul-de-sac with a circle road would be the required 100 ft minimum outside diameter and less than 800 ft back from Franklin Street with the allowed eight lots on it. **To provide an appropriate graded road with low slope at the entrance to Franklin Street, retaining walls will be incorporated into the grading plan**. Dedicated public water lines would be extended into the development with fire hydrant. Drainage easements

(315) 685-8144

*Member of the American Institute of Architects*

and a Town Drainage district would be established. Relevant Code Sections have been provided with earlier submissions. **An HOA will be formed to manage and maintain the private roads, retaining walls, sidewalks and stormwater BMP facilities.**

Conservation Subdivision options have been explored for this site and each lot could be as small as one half acre. From past experience, this make for a tight lot with an alternative septic system and expansion area to have a reasonable sized family home with decks and potential swimming pools. It is also a goal to have a **traditional style** street with sidewalk rather than a narrower, private conservation road and shared driveways.

### **Land Suitability Analysis**

**Existing Land Use:** This property is in the RR District outside the Lake Watershed Overzone. The property is primarily a agricultural field with a small portion growing into natural succession. The adjacent property is a large agricultural field to the west and south. To the northeast are residential lots that are 0.5 to 1.5 acres in size and have single family dwellings on them. The subject lot is 19 acres of mostly crop land that is not of high quality.

**Steep Slopes:** This property has no steep slopes over 30% grade. A section of steep slope between 12% and 30% occurs on the west side of the property 43,500 SF in area. Smaller, patches of slopes between 12% and 30%, less than 30 ft wide are east of this area and are not regulated by Town zoning. There are no significant steep slope areas of high conservation value and limited areas of moderate conservation value.

**Farm Land and Wildlife Habitat:** The property is mostly moderate value farm land surrounded by a hedgerow or residential lots. This area supports native Central NY wildlife such as deer, rabbits, woodchucks, squirrels, raccoons, birds. Land to the south and west of the property is active agricultural fields. The western half of this property has moderate conservation value for farm land.

**View Shed:** The property is not visible from public roads in that it is surrounded by residential lots and is relatively low sloping land. There are limited views from the property on to other lands, mostly at the western half of the property. The land has low conservation values for view sheds.

**Wetland Buffers and Watercourse:** The property has no wetlands or water courses on it. Federal wetlands and a watercourse are located over 1,000 feet to the west. The property drains to the east. This property is not in the Lake Watershed Overzone. The land has no conservation value for wetlands or watercourses.

**Overall Land Suitability Assessment:** Considering the above factors, the western portion of the property has moderate conservation value for agricultural and steep sloped areas. The north east side of the property has low conservation value and is surrounded by small residential lots.

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**CONTRACT DRAWINGS**



**LOCATION PLAN**  
NOT TO SCALE

# VILLAGE MEADOW SUBDIVISION

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C-105	SITE GRADING & EIC PLAN
C-106	SITE UTILITY PLAN
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C-108	SEWIC SYSTEM LAYOUT PLAN, SECTIONS & DETAILS
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FRANKLIN STREET  
TOWN OF SKANEATELES  
ONONDAGA COUNTY

REVISED FEBRUARY 9, 2024

**MBL**  
ENGINEERING, PLLC

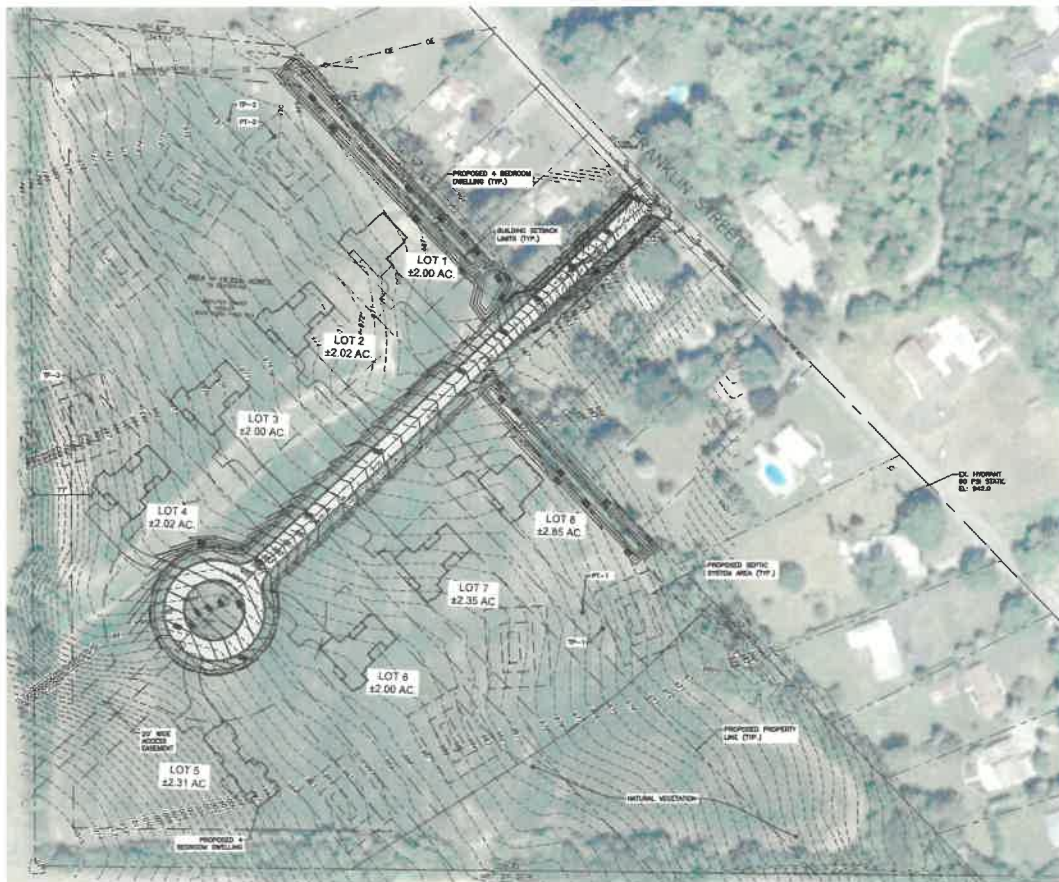
MBL ENGINEERING, PLLC  
16510 BALCH PLACE  
MANNSVILLE, NY 13661



DOH APPROVAL STAMP



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PLAN  
SCALE: 1"=60'

**BULK REGULATIONS - RURAL RESIDENTIAL DISTRICT RR - ±19.22 ACRES**

	REQUIRED
LOT SIZE (MINIMUM)	2 ACRES
LOT FRONTAGE (MINIMUM)	150'
FRONT YARD	80'
SIDE YARD	30'
REAR YARD	80'
LOT COVERAGE	30%
IMPERVIOUS SURFACE COVERAGE	15%
DRIVEWAY	20'
MAXIMUM BUILDING HEIGHT	36'

**PERCOLATION TESTS**

TEST	RESULTS
TP-1	0-20" SILT LOAM 30-70" SILT/CLAY; SOME COBBLES 30" SOME MOTTLED SOIL
TP-2	0-10" SILT LOAM 12-77" SILT/CLAY WITH COBBLES 20" MOTTLED SOIL
TP-3	0-24" SILT LOAM 24-80" SILT LOAM/BRACES OF CLAY 24" MOTTLED SOIL
PT-1	1110 MPH @ 30"
PT-2	2.85 MPH @ 10"

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PROJECT #	25-190
DATE	SEPTEMBER 2023
SHEET #	C-101

OVERALL  
SITE PLAN

MBL  
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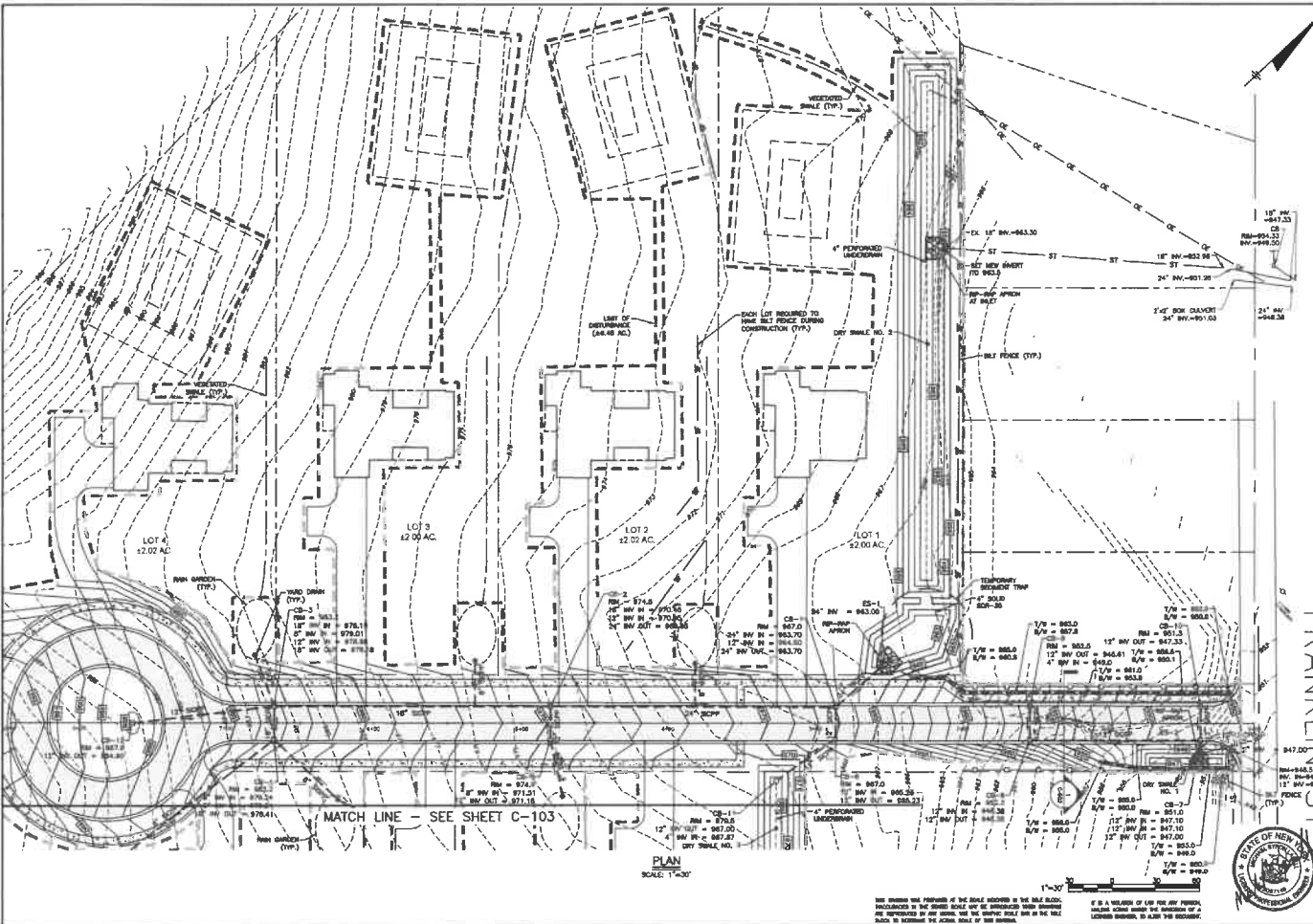
VILLAGE MEADOW  
FRANKLIN STREET  
TOWN OF SKANEATELES  
ONONDAGA COUNTY







DATE: 2/17/24 3:08 PM



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**SITE GRADING & ESC PLAN**



**FRANKLIN STREET**  
 VILLAGE MEADOW  
 FRANKLIN STREET  
 TOWN OF SKANATELES  
 ONONDAGA COUNTY

PROJECT #	23-180
DATE	SEPTEMBER 2023
SHEET #	C-104



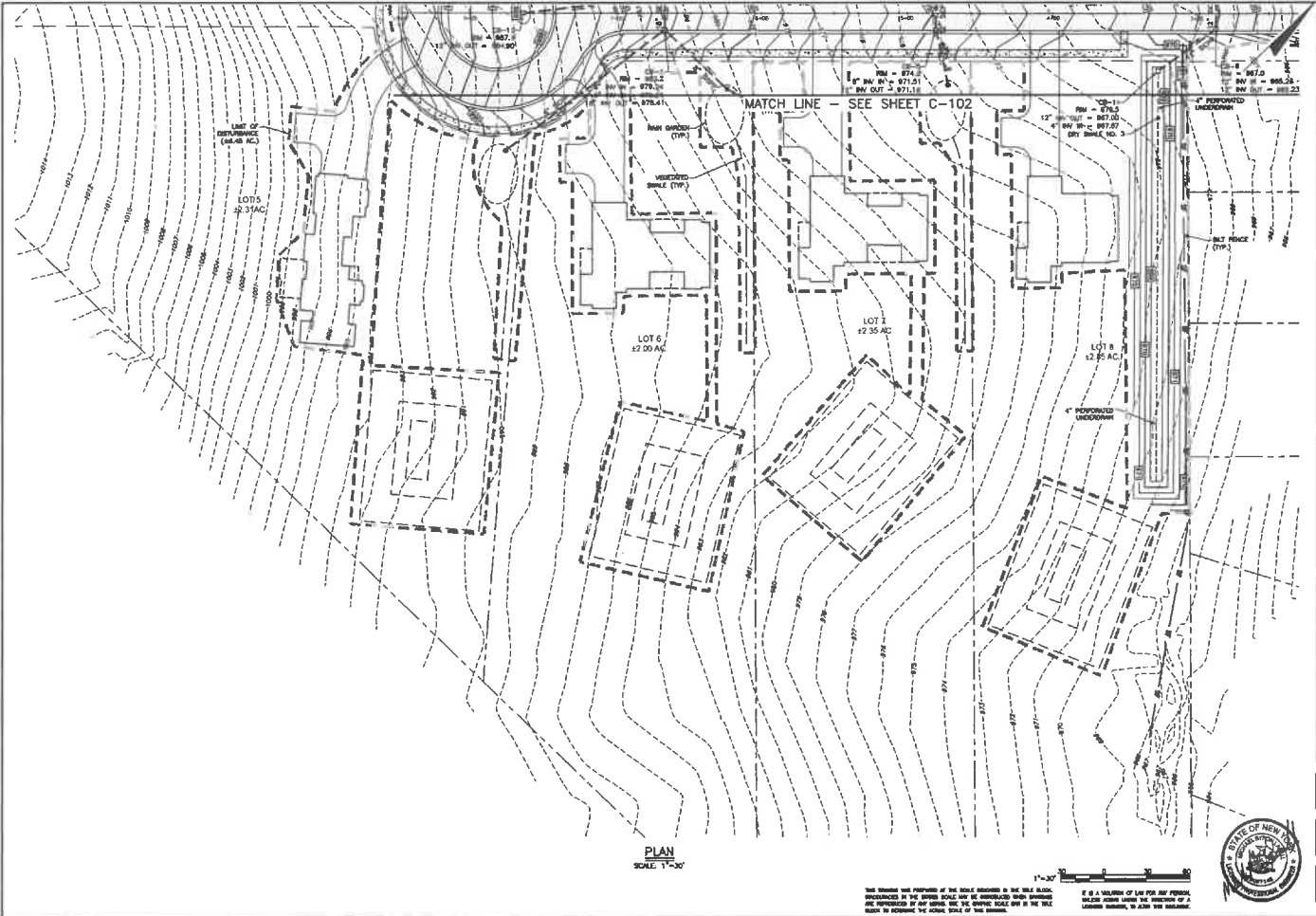
THE GRADER HAS PROVIDED THE SHOT LOCATIONS IN THE SHOT LOGS. INCLUSIONS IN THE SHOT LOGS MAY BE INTRODUCED DURING CONSTRUCTION AND OPERATIONS BY THE GRADER. THE GRADER SHALL BE RESPONSIBLE FOR RECORDING THE ACTUAL SHOTS IN THE SHOT LOGS TO CORRECT THE SHOT LOGS TO REFLECT THE ACTUAL SHOTS.

IF IN A VIOLATION OF LAW THE GRADER, CONTRACTOR, OR SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF A LICENSED ENGINEER, TO ALLOW THE RECORDING.

**PLAN**  
 SCALE: 1"=30'

MATCH LINE - SEE SHEET C-103

DATE: 2/12/24 11:38 AM



PLAN  
SCALE: 1"=30'



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C	2/12/24	REVISED PLAN
B	11/14/23	REVISED FOR TOWN OFFICIALS
A	11/14/23	REVISED FOR TOWN OFFICIALS
1	02/12/24	DATE

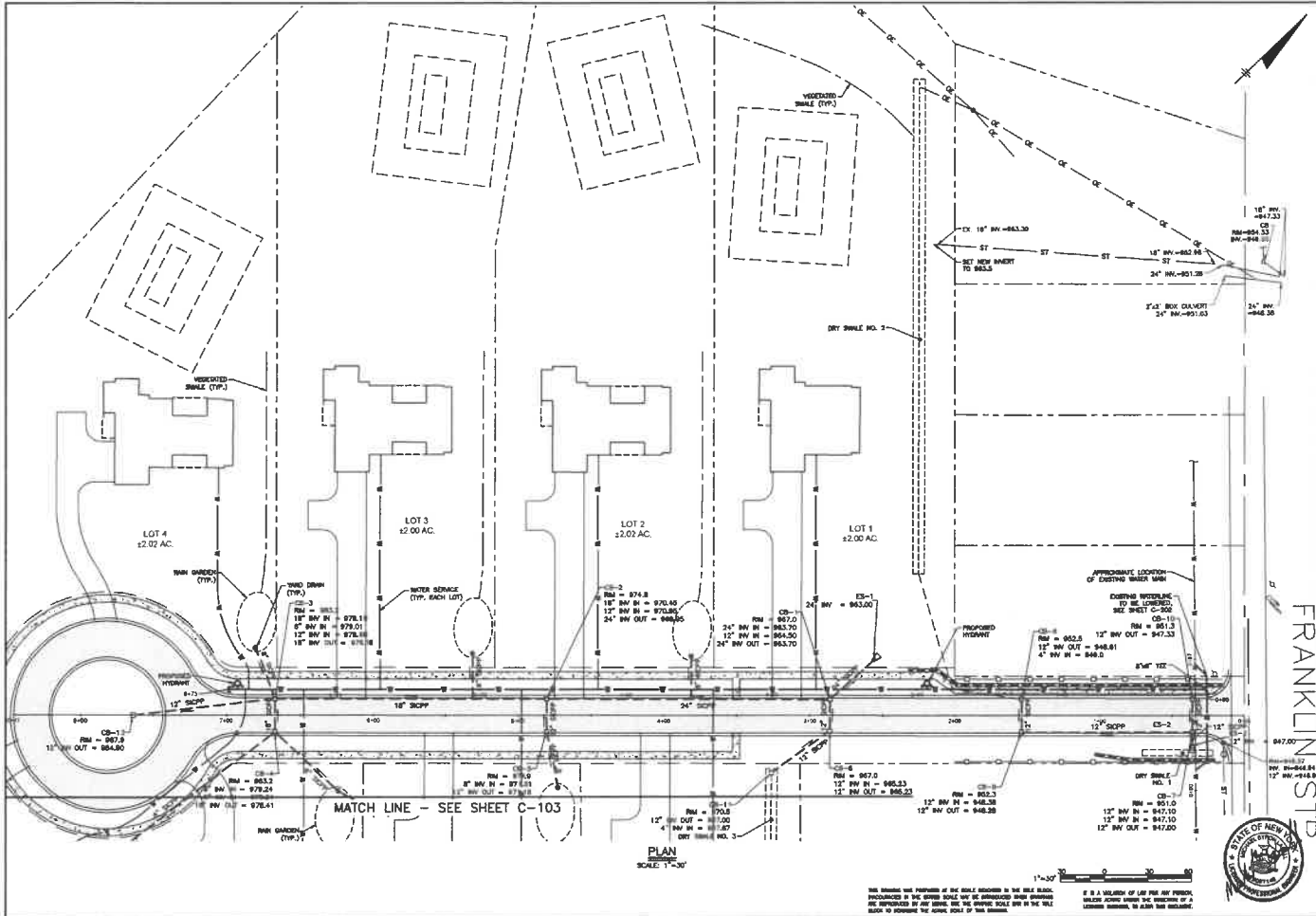
**SITE GRADING  
& ESC PLAN**



VILLAGE MEADOW  
FRANKLIN STREET  
TOWN OF SKANEATELES  
ONONDAGA COUNTY

PROJECT #	23-190
DATE	SEPTEMBER 2023
SHEET #	C-105

DATE: 2/12/24 10:38 AM



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B	11/15/23	REMOVED TYPING DIMENSIONS
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SITE UTILITY  
PLAN

**MB**  
ENGINEERING, PLLC

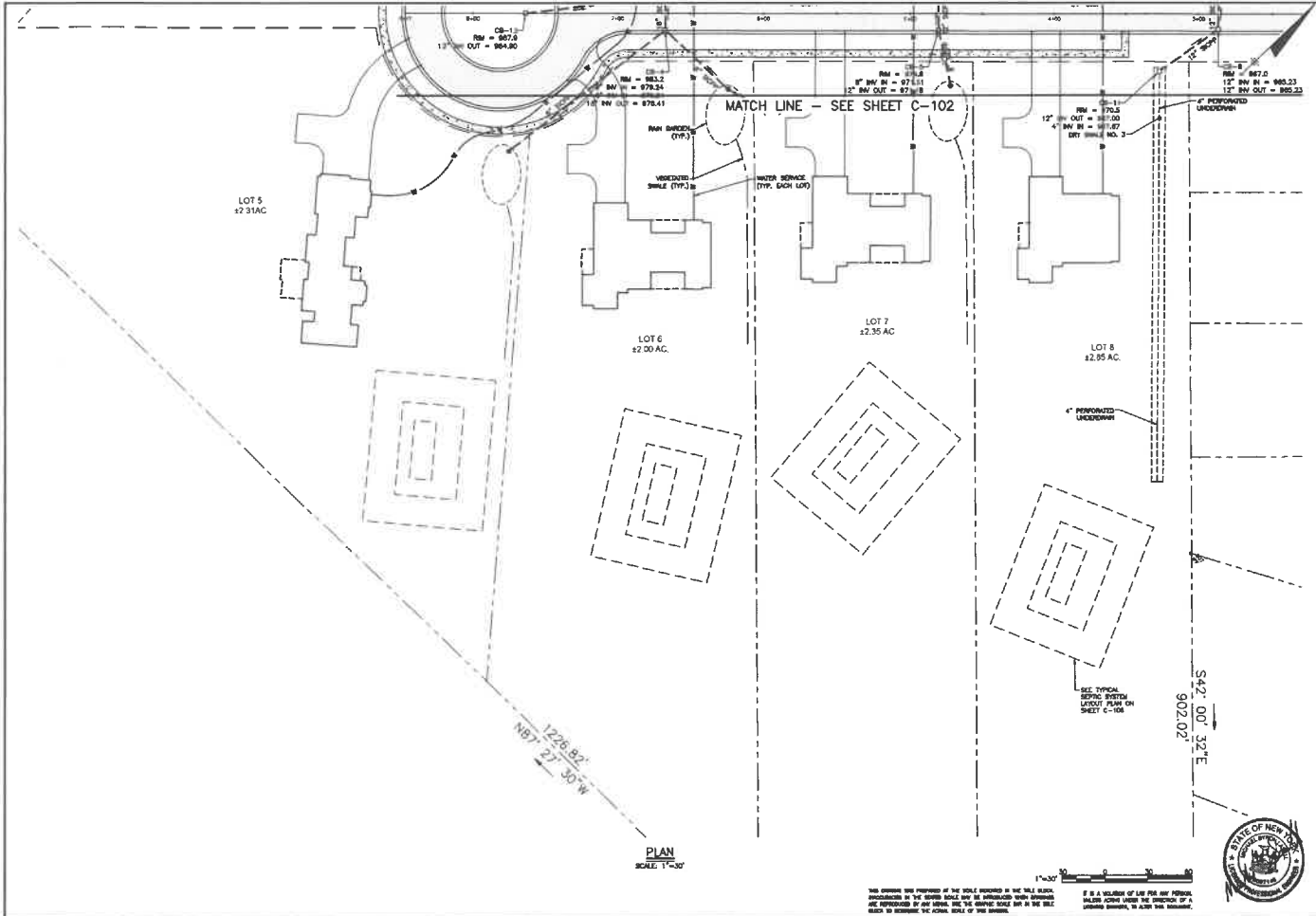
FRANKLIN ST  
VILLAGE MEADOW  
FRANKLIN STREET  
TOWN OF SKANEATELES  
ONONDAGA COUNTY

PROJECT #	23-190
DATE	NOVEMBER 2023
SHEET #	C-106



THE SEVERAL PARTS OF THIS SCALE SHOWN IN THE LEFT HAND COLUMN...  
 IF A MEASURE OF ONE FOOT ANY PARTIAL...  
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SITE UTILITY PLAN



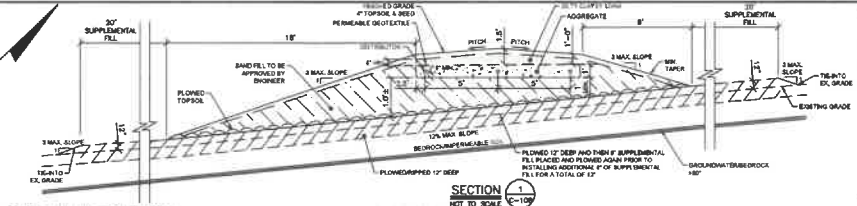
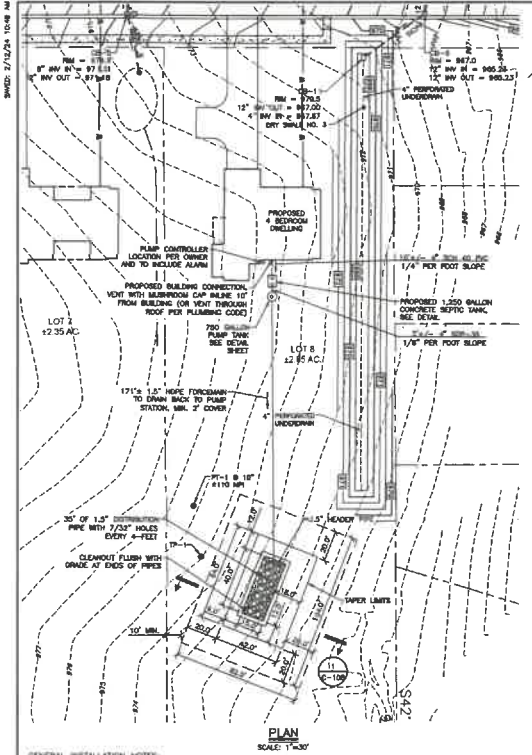
VILLAGE MEADOW  
FRANKLIN STREET  
TOWN OF SKANEATELES  
ONONDAGA COUNTY

PROJECT #  
23-190

DATE:  
SEPTEMBER 2023

SHEET #  
C-107





**SYSTEM CALCULATIONS PER APPENDIX A**

INPUT SOIL: 0-20" SILT LOAM  
20-72" SILT/CLAY, SOME COMBLES,  
20% SOME BOTTLED SOIL.  
PERCOLATION TEST AT 12" 140 MIN/INCH  
DEPTH TO SEASONAL HIGH GROUND WATER: 30"  
SITE SLOPE: 3.0%

**MINIMUM SEPARATION DISTANCES FROM SEPTIC SYSTEM COMPONENTS**

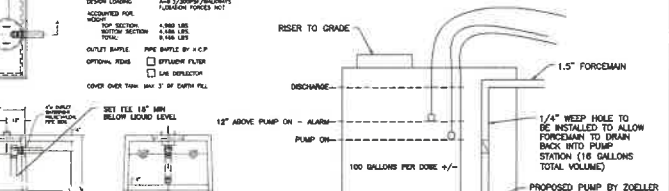
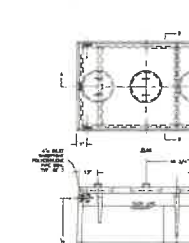
SEPTIC TANK	WELL	WATERBODY	DWELLING	PROPERTY LINE
50'	50'	10'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'
ABSORPTION FIELD	100'	100'	20'	10'

**SECTION NOTES:**  
NOT TO SCALE

- THE CONTRACTOR MUST NOTIFY THE ENGINEER BEFORE STARTING CONSTRUCTION IN ORDER TO ARRANGE FOR INSPECTION OF THE PROPOSED FILL MATERIAL AND ITS PLACEMENT AND STABILIZATION.
- AREA BENEATH LEACHFIELD SHALL BE PROTECTED FROM HEAVY EQUIPMENT. AREA SHALL HAVE LEAVES/FURSH SHALL BE REMOVED BUT THE ROOT SYSTEM SHALL REMAIN. OTHER VEGETATION SHALL BE CUT AS CLOSE TO GRASS AS POSSIBLE AND REMOVED. AREA THEN SHALL BE FLOODED 2-3" A MINIMUM OF 20-YEET OUTSIDE OF THE SHED AREA AND APPROVED FILL GENTLY PLACED IN THE LEACH AREA.
- SAND SHALL BE PLACED AND COMPACTED USING LIGHT TRACKED EQUIPMENT.
- THE ABSORPTION AREA IS THEN FORMED WITHIN THE MOUND AFTER THE MOUND IS CONSTRUCTED. A MINIMUM OF 4" OF AGGREGATE SHALL BE PLACED BENEATH THE DISTRIBUTION LINES.
- A MINIMUM OF 2" OF AGGREGATE SHALL BE PLACED OUTSIDE OF THE DISTRIBUTION LINES.
- A PERMEABLE GEOTEXTILE SHALL BE PLACED OVER THE ENTIRE ABSORPTION AREA.
- A MINIMUM OF 6" OF CLAYTY LOAM TO BE PLACED OVER TOP OF THE ABSORPTION AREA PRIOR TO TOPSOIL.
- DO NOT INSTALL TRENCHES IN NET SOIL.
- INSTALL TRENCHES IN NET SOIL, PARALLEL TO CONTOURS.
- TRENCHES AS SHALLOW AS POSSIBLE MEETING MINIMUM DIMENSIONS NOTED.
- DIO CAPS SHALL BE INSTALLED AT THE END OF EACH RUN.
- CONTRACTOR TO MEET REQUIREMENTS OF THE HYSDON DESIGN HANDBOOK FOR RESIDENTIAL WASTEWATER TREATMENT SYSTEMS AND LOCAL REQUIREMENTS.

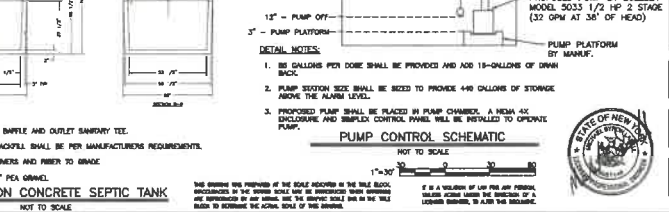
**MINIMUM SAND SPECIFICATIONS**

Provisional Use	S. 33 min 2-12 min particles
Free residual silt/clay	Less than 1% by weight (4% max)
Clayey material (clayey gravel)	Less than 1% by weight (1.2 max) (max)
Maximum clayey sand	60 max (4% by weight) (max) (max)
Maximum clayey silt	0.15 - 0.10 max
Maximum organic matter	4 - 2



**GENERAL INSTALLATION NOTES:**

- CONCRETE DISTRIBUTION BOX TO BE INSTALLED ON A 3-INCH BED OF PEA GRAVEL OR 4-INCHES OF AGGREGATE TO PROVIDE PROPER LEVELING AND BOUNDING. THE TANK AND BOX SHALL MEET THE REQUIREMENTS OF APPENDIX 70A.
- SEPTIC TANK ACCESS COVERS SHALL NOT BE MORE THAN 12-INCHES BELOW GRADE.
- COLLECTION SYSTEM AND OTHER PIPING SHALL BE 80%-35, MADE IN ACCORDANCE WITH ASTM D-3034 (EXCEPT ABSORPTION FIELD OR WHERE OTHERWISE NOTED ON PLANS).
- WORK TO BE DONE IN STREET ACCORDANCE TO THESE PLANS. CHANGES REQUIRE ENGINEER REVIEW AND APPROVAL.
- SEPTIC TANK SHOULD BE INSPECTED AND PUMPED OUT AS NECESSARY ONCE EVERY THREE YEARS. IF REASONABLE HIGH GROUND WATER EXISTS OUTSIDE THE SEPTIC SHALL NOT BE PUMPED OUT COMPLETELY TO PREVENT FLOUTATION.
- FLOOR DRAINS SHALL NOT BE TIED TO SEPTIC TANK SYSTEM, IF FLOOR DRAINS ARE PRESENT THEY SHALL BE CONNECTED TO TANK FOR SCHEDULED PUMP OUT.
- THE CONTRACTOR SHALL COORDINATE WITH ENGINEER TO HAVE THE SYSTEM INSTALLATION INSPECTED PRIOR TO BACKFILLING TO CERTIFY THE SYSTEM IS INSTALLED IN ACCORDANCE WITH THESE PLANS AND APPLICABLE REGULATIONS.
- ENGINEER: MICHAEL LABELL, PHONE: 315-444-0001
- CORRECTING MATERIAL/PRODUCT DEFICIENCIES IS THE RESPONSIBILITY OF THE MANUFACTURE/SUPPLIER. WORKMANSHIP IS THE RESPONSIBILITY OF THE INSTALLER. THE UNDERSIGNED ENGINEER DOES NOT GUARANTEE OR WARRANT EITHER OF THE ABOVE.
- NO GUARANTEE AS TO THE FUNCTIONALITY OR LIFE EXPECTANCY OF THE SEPTIC SYSTEM IS WARRANTED OR IMPLIED BY THE ENGINEER.
- THIS SEPTIC SYSTEM IS DESIGNED FOR USE WITH BIODEGRADABLE PRODUCTS ONLY. USE OF ANY OTHER PRODUCTS MAY CAUSE PREMATURE FAILURE.



**1,250 GALLON CONCRETE SEPTIC TANK**  
NOT TO SCALE

**FLUSH VALVE ASSEMBLY**  
NOT TO SCALE

**PUMP CONTROL SCHEMATIC**  
NOT TO SCALE

**DETAIL NOTES:**

- TANK TO HAVE INFLUENT BARGE AND OUTLET SANITARY TEE.
- TANK EXCAVATION AND BACKFILL SHALL BE PER MANUFACTURERS REQUIREMENTS.
- PROVIDE WATER TIGHT CONCRETE AND FIBER TO GRADE.
- TANK TO BE SET ON 12" PEA GRAVEL.

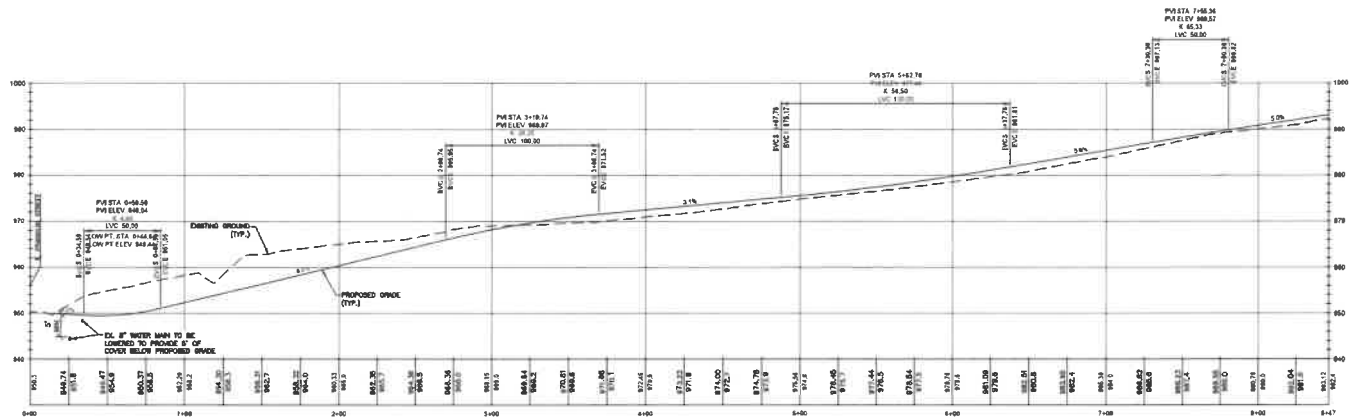
**PROJECT #** 23-180  
**DATE:** SEPTEMBER 2023  
**SHEET #** C-108

**SEPTIC SYSTEM LAYOUT PLAN, SECTIONS & DETAILS**

**VILLAGE MEADOW FRANKLIN STREET TOWN OF SKANEATELES ONONDAGA COUNTY**

**ENGINEERING, P.L.L.C.**

DATE: 2/12/24 10:41 AM



**ROAD CENTERLINE PROFILE**  
 SCALE: HORIZ. 1"=30'  
 VERT. 1"=10'



THIS DRAWING WAS PREPARED BY THE SCALE INDICATED IN THE TITLE BLOCK. INFORMATION IN THE DRAWING SHOULD NOT BE CONSIDERED MORE IMPORTANT AND SUPERSEDED BY ANY OTHER AND THE DRAWING SCALE MAY BE THE BEST PLACE TO DETERMINE THE ACTUAL SCALE OF THE DRAWING.

IF AS A VOLUNTEER OF THE STATE OF NEW YORK, YOU ARE ACTING UNDER THE PROVISIONS OF A LICENSE GRANTED TO YOU BY THE GOVERNMENT, TO SIGN THIS DOCUMENT.



DATE	11/22/23	REVISION	REVISED FOR TOWN ENGINEERING
NO.	1	DATE	11/22/23
NO.	1	DATE	11/22/23
NO.	1	DATE	11/22/23

**ROAD CENTERLINE PROFILE**



VILLAGE MEADOW  
 FRANKLIN STREET  
 TOWN OF SKANATELES  
 ONONDAGA COUNTY

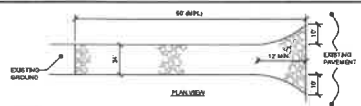
PROJECT #  
13-190

DATE  
SEPTEMBER 2023

SHEET #  
C-201

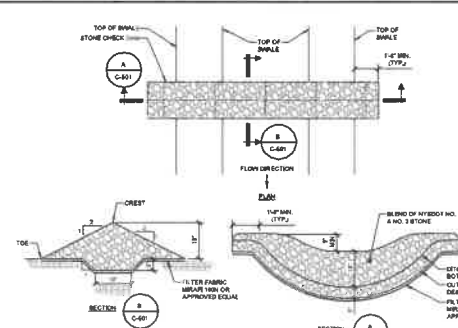


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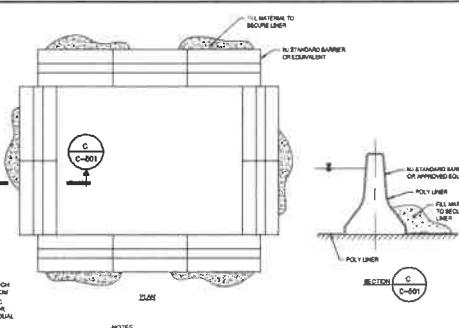
- NOTES:**
1. STONE SIZE - 1.5" TO 2" STONE OR RECLAIMED OR RECYCLED CONCRETE BOUNALINT.
  2. LENGTH - AS REQUIRED BUT NOT LESS THAN 30 FEET.
  3. THICKNESS - NOT LESS THAN 18".
  4. WIDTH IN HORIZONTAL BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE EROSION OCCURS.
  5. FILTER FABRIC (ARJAY 148 OR EQUAL) SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR BEING TO BE CONSTRUCTED ENTRANCES SHALL BE PERMITTED ACROSS THE ENTRANCE. IF PERMITTED, A MOUNTABLE 3" DIA. (MIN) WITH 1:1 SLOPES SHALL BE PERMITTED.
  7. MAINTENANCE - THE ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC CLEANING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND RETURN INSIDE CLEAN OUT OF ANY MATERIALS USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAIN INTO ADJACENT SEGMENT BARRIERS.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT EROSION CONTROL PLAN AND/OR OTHER PLAN.
  10. CONTRACTOR SHALL FIELD LOCATE AS REQUIRED WITH APPROVAL BY THE OWNER'S REPRESENTATIVE.

**A STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



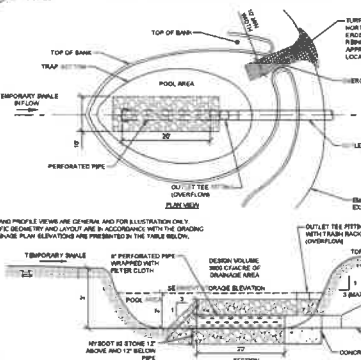
- NOTES:**
1. STONE SHALL BE PLACED ON A FILTER FABRIC FOUNDATION.
  2. SET SPACING OF CHECK DAMS SUCH THAT THE ELEVATION OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
  3. EXTEND THE STONE A MINIMUM OF 1.5' BEYOND THE DITCH BANKS TO PREVENT OUTFLOW AROUND THE DAM.

**B STONE CHECK DAM DETAIL**  
NOT TO SCALE



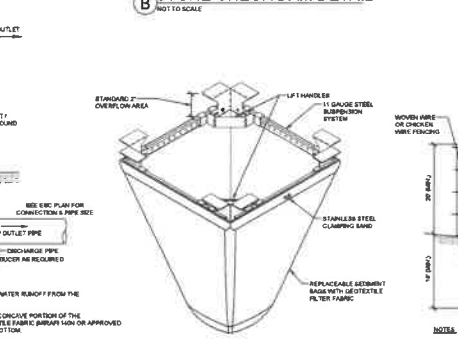
- NOTES:**
1. CONTRACTOR TO FIELD LOCATE AND OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO DISCHARGING CONCRETE WASH WATER.
  2. WATER MAY BE DRAINAGE ONCE CONCRETE HAS CURED AND 24 HOURS OF SETTLEMENT HAS OCCURRED.
  3. CONTRACTOR TO DISPOSE OF CURED CONCRETE OFF SITE OR IN LOCATION APPROVED BY OWNER.
  4. SHALL BE DESIGNED TO CONTAIN ALL CONCRETE WASH WATER AND HOLD FOR A 24-HOUR PERIOD.

**C CONCRETE WASHDOWN CONTAINMENT DETAIL**  
NOT TO SCALE



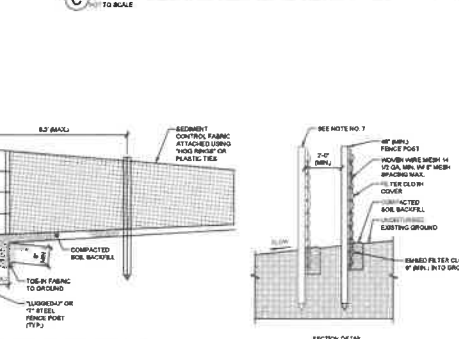
- NOTES:**
1. TRAP SHALL BE FIELD LOCATED IN AN AREA DOWNSTREAM OF SOIL DISTURBANCE ACTIVITIES AND IN AN AREA TO WHICH STORMWATER RUNOFF FROM THE CONSTRUCTION SITE CAN BE DIRECTED TO THE TRAP. TRAP SHALL NOT BE LOCATED WITHIN A TRAFFIC AREA.
  2. PIPE SHALL BE PERMITTED WITH ONE 36" DIA. SPACES BY 36" DIA. VERTICAL AND HORIZONTAL AND LOCATED IN THE CORNER POSITION OF THE CONCRETE TRAP. TRAP SHALL BE WRAPPED WITH 1/2" TO 1" DIA. HARDWARE CLOTH AND WRAPPED WITH GEOTEXTILE FABRIC (ARJAY 148 OR APPROVED EQUAL). SECURE HARDWARE CLOTH AND GEOTEXTILE FABRIC TO TRAP PIPE WITH STAINLESS STEEL BARS AT TOP AND BOTTOM.
  3. ALL AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
  4. ALL FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE FROM ROOTS OR OTHER WOODY VEGETATION AS WELL AS OVERLIES STONE, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTS/CONTAMINANT MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TROWELING WITH EQUIPMENT (PAVING) IT BE BUILT CONSTRUCTED MAXIMUM HEIGHT OF EMBANKMENT SHALL BE 4' MAXIMUM AT CLOSURE OF EMBANKMENT.
  5. FILTER CLOTH SHALL BE PLACED OVER THE BOTTOM AND SIDES OF THE OUTLET CHANNEL PRIOR TO PLACEMENT OF STONE. SECTIONS OF FABRIC MUST OVERLAP AT LEAST ONE FOOT WITH SECTION NEAREST ENTRANCE PLACED ON TOP. FABRIC SHALL BE EMBEDDED AT LEAST 18" INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
  6. CONSTRUCT RUNOFF APRON AT PIPE OUTLET USING 1/2" DIA. (MIN) 3" DIA. (MIN) AND A LAYER OF GEOTEXTILE FABRIC (ARJAY 148 OR APPROVED EQUAL). REFER TO BARRIERS APRON DETAIL ON SHEET C-01.
  7. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WITHIN 24 HOURS. SEDIMENT HAS ACCUMULATED TO THE HEIGHT OF THE TRAP PIPE. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  8. THE SEDIMENT TRAP SHALL BE INSPECTED AFTER EACH RAIN EVENT AND REPORTED TO THE OWNER.
  9. WATER FROM OVERFLOW OPERATIONS SHALL BE DIVERTED OR TRANSPORTED TO A SEDIMENT TRAP BEFORE BEING DISCHARGED OFF-SITE. ALTERNATIVE TREATMENT METHODS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO IMPLEMENTATION.

**D TEMPORARY PIPE OUTLET SEDIMENT TRAP DETAIL**  
NOT TO SCALE



- NOTES:**
1. SILT FENCE SHALL BE PLACED AS INDICATED ON THE EROSION CONTROL PLAN.
  2. WOODEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH 1/2" DIA. (MIN) OF STAPLES.
  3. FILTER CLOTH TO BE FASTENED SECURELY TO WOODEN WIRE FENCE WITH 1/2" DIA. (MIN) OF STAPLES EVERY 2' AT TOP AND MID SECTION.
  4. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 36" INCHES AND FOLDED.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED FROM TRAP PRIOR TO RAIN IN THE 24 HOURS.
  6. FENCE TO BE ADJUSTED ALONG COURSE AS CLOSELY AS POSSIBLE.
  7. FENCE SHALL BE DOUBLED AT THE TOE OF ALL SLOPES GREATER THAN 1:1 SLOPE AND ADJACENT TO WETTED SOLES, INCLUDING AND ALL ENVIRONMENTAL SENSITIVE AREAS.

**E TYPICAL RECTANGULAR CATCH BASIN INSERT**  
NOT TO SCALE



- NOTES:**
1. SILT FENCE SHALL BE PLACED AS INDICATED ON THE EROSION CONTROL PLAN.
  2. WOODEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH 1/2" DIA. (MIN) OF STAPLES.
  3. FILTER CLOTH TO BE FASTENED SECURELY TO WOODEN WIRE FENCE WITH 1/2" DIA. (MIN) OF STAPLES EVERY 2' AT TOP AND MID SECTION.
  4. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 36" INCHES AND FOLDED.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED FROM TRAP PRIOR TO RAIN IN THE 24 HOURS.
  6. FENCE TO BE ADJUSTED ALONG COURSE AS CLOSELY AS POSSIBLE.
  7. FENCE SHALL BE DOUBLED AT THE TOE OF ALL SLOPES GREATER THAN 1:1 SLOPE AND ADJACENT TO WETTED SOLES, INCLUDING AND ALL ENVIRONMENTAL SENSITIVE AREAS.

**F SILT FENCE DETAIL**  
NOT TO SCALE

ESC DETAILS

MBL ENGINEERING, PLLC

VILLAGE MEADOW  
FRANKLIN STREET  
TOWN OF SKANEATELES  
ONDONAGA COUNTY

PROJECT # 23-180

DATE: SEPTEMBER 2023

SHEET # C-501

STATE OF NEW YORK  
SEAL OF THE STATE ENGINEER  
PROFESSIONAL ENGINEER





